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AVID Property Group Nominees Pty Ltd

A lot on proposed Plan of Subdivision PS826731D
(part of Stage 1), 46-50 Bayview Road, Officer

Section 32 Statement

Vendor's Statement to the Purchaser of Real Estate under section 32 of the *Sale of Land Act 1962 (Vic)*



The Vendor makes this statement in respect of the Land in accordance with section 32 of the *Sale of Land Act 1962 (Vic)* (**Act**).

This statement must be signed by the Vendor and given to the Purchaser before the Purchaser signs the contract. The Vendor may sign by electronic signature.

The Purchaser acknowledges being given this statement signed by the Vendor with the **attached** documents before the Purchaser signed any contract and consents to the Vendor signing by electronic signature.

Property	A lot on proposed plan of subdivision PS826731D being part of the land in certificates of titles certificates of titles volume 8314 folio 112, volume 9535 folio 202 and volume 9542 folio 679 being part of Stage 1, 46 – 50 Bayview Road, Officer, Victoria.
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Vendor's name	AVID Property Group Nominees Pty Ltd ACN 088 212 631 as trustee for Officer Property Unit Trust of Level 35, 259 George Street Sydney NSW 2000	Date 27 May 2019
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Vendor's Execution	Executed on behalf of AVID Property Group Nominees Pty Ltd by its attorneys under a Power of Attorney dated 17 August 2016 who declare that they have not received any notice of the revocation of that Power of Attorney	 
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Purchaser's name		Date

Purchaser's signature	
------------------------------	--

1 Financial Matters – s32A

1.1 Mortgages

The Property is not subject to a mortgage (as defined in the Act) which will not be discharged or otherwise removed at settlement.

1.2 Charges

The Property is not subject to any charge, whether registered or unregistered.

1.3 Rates, taxes, charges, and other similar outgoings

(a) The Property is not separately rated or assessed for rates and taxes at the date of this statement. The **attached** certificates relate to land which includes the Property. The Vendor is unable to accurately estimate the exact outgoings which will apply to the Property after approval and registration of the proposed plan of subdivision. The Property will be subject to a Community Infrastructure Levy and the Purchaser will be liable for this levy in accordance with special condition 28.3 of the Contract of Sale.

The rates, taxes, charges and similar outgoings (including the Community Infrastructure Levy assuming one dwelling is constructed on the Property) are not expected to exceed \$7,000.

(b) It is anticipated that the Property will be separately rateable and may be taxable, following settlement. The Purchaser should make its own enquiries of relevant rating and taxing authorities concerning the level of rates, taxes, charges and other outgoings which will be payable on the Property after settlement.

(c) The amount of land tax which may be applicable to the Property may vary from the amount shown in the **attached** certificate and will be determined having regard to the specific circumstances of the Purchaser including the total unimproved value of the land owned by the Purchaser.

1.4 Terms Contract

This **section 1.4** does not apply as the contract for the sale of the Property is not a terms contract contemplated by section 32A(d) of the Act.

2 Insurance – s32B

2.1 Damage and Destruction

This **section 2.1** does not apply as the contract for the sale of the Property provides for the Property to remain at the risk of the Vendor until the Purchaser becomes entitled to possession or receipt of rents and profits.

2.2 Owner-Builder

This **section 2.2** does not apply as there is no residence on the Property which was constructed within the preceding 6 years and to which s137B of the *Building Act 1993* (Vic) applies.

3 Land use – s32C

3.1 Easements, Covenants or Other Similar Restrictions

- (a) **Attached** are descriptions of any easement, covenant or other similar restriction affecting the Property, whether registered or unregistered, if any.
- (b) The Vendor is not aware of any existing failure to comply with the terms of any easement, covenant or other similar restriction, if any.
- (c) The Vendor may be required to enter into one or more agreements with Council under section 173 of the *Planning and Environment Act 1987* (Vic) in accordance with special condition 29 of the Contract of Sale.

3.2 Designated Bushfire Prone Area

The Property is in a designated bushfire prone area within the meaning of the regulations made under the *Building Act 1993* (Vic).

3.3 Road Access

As at the date of this statement, there is no access to the Property by road. There will be access to the Property by road from settlement.

3.4 Planning Scheme

The Property is affected by a planning scheme the details of which, including the:

- (a) name of the planning scheme;
 - (b) name of the responsible entity;
 - (c) zoning of the land; and
 - (d) name of any planning overlay affecting the Property,
- are contained in the **attached** certificate(s).

4 Notices – s32D

4.1 Notice, Order, Declaration, Report or Recommendation

Particulars of any notices, orders, declarations, reports or recommendations of a public authority or government department or approved proposals directly and currently affecting the Property of which the Vendor might reasonably be expected to have knowledge are contained in the **attached** certificates and/or statements.

4.2 Disease and Contamination

To the Vendor's knowledge, there are no notices, property management plans, reports or orders in respect of the Property issued by a government department or public authority in relation to livestock disease or contamination by agricultural chemicals affecting the ongoing use of the Property for agricultural purposes.

4.3 Compulsory Acquisition

To the Vendor's knowledge, there are no notices of intention to acquire the Property which have been served under section 6 of the *Land Acquisition and Compensation Act 1986* (Vic).

5 Building permits – s32E

Particulars of any building permit issued under the *Building Act 1993* (Vic) in the preceding 7 years are contained in the attached certificates and/or statements.

6 Owners corporation – s32F

This **section 6** does not apply as the Property is not affected by an owners corporation (as defined in the *Owners Corporation Act 2006* (Vic)).

7 Growth Areas Infrastructure Contribution – s32G

Words and expressions in this **section 7** have the same meaning as in Part 9B of the *Planning and Environment Act 1987* (Vic).

7.1 Work-in-Kind Agreement

This **section 7.1** does not apply as the Property is not subject to a work-in-kind agreement.

7.2 GAIC Recording

This **section 7.2** does not apply as the Property is not subject to GAIC recording.

8 Services – s32H

The services marked with an 'X' in the accompanying square box are NOT connected to the Property:

Electricity supply	<input checked="" type="checkbox"/>
Gas supply	<input checked="" type="checkbox"/>
Water supply	<input checked="" type="checkbox"/>
Sewerage	<input checked="" type="checkbox"/>
Telephone services	<input checked="" type="checkbox"/>

As at the date of this statement, the Property is vacant and the above services are not connected to the Property.

The Vendor's intention is to make the above services available for connection at or near the boundary of the Property (**Connection Point**) from settlement in accordance with special condition 33 of the Contract of Sale.

The Purchaser is responsible for carrying out the necessary works to connect the infrastructure for the above services from the Connection Point to the dwelling and is responsible for any fees relating to the connection of the above services to the dwelling in accordance with special condition 33 of the Contract of Sale.

9 Title – s32I

Attached are copies of the following documents:

- (a) register search statements and the documents, or part of a documents, referred to as the 'diagram location' in those statements which identify the Property and its location; and
- (b) evidence of the Vendor's right or power to sell the Property (where the Vendor is not the registered proprietor or owner in fee simple).

10 Subdivision – s32I

10.1 Unregistered subdivision

The Property is subject to a subdivision for which the relevant plan of subdivision has not been certified.

Attached is a copy of the latest version of the plan of subdivision.

10.2 Staged Subdivision

This **section 10.2** does not apply as the Property is not subject to a staged subdivision.

10.3 Further Plan of Subdivision

- (a) This **section 10.3** does not apply as the Property is not subject to a subdivision in respect of which a further plan within the meaning of the *Subdivision Act 1988* (Vic) is proposed.
- (b) The proposed plan of subdivision PS826731D is intended to create superlot A (which may be developed in accordance with special condition 12 of the Contract of Sale) and a further plan(s) may be registered with respect to superlot A.

11 Due diligence checklist

The Vendor or the Vendor's licensed estate agent is offering land for sale that is vacant residential land or land on which there is a residence. A copy of the due diligence checklist is **attached** to this Vendor's Statement.

12 Attachments

- (a) Consumer Affairs Victoria Due Diligence Checklist;
- (b) Title searches (certificates of titles volume 8314 folio 112, volume 9535 folio 202 and volume 9542 folio 679);
- (c) Plan of Subdivision LP048078;
- (d) Title Plan TP132216B;
- (e) Plan of Subdivision LP144824;
- (f) Proposed Plan of Subdivision PS826731D;
- (g) Planning Permit T130581;
- (h) Planning Permit T140157;
- (i) State Revenue Office Land Tax Clearance certificate;
- (j) Water Information certificate;
- (k) Land Information certificate;
- (l) Planning certificate;
- (m) Designated Bush Fire Prone Areas certificate;
- (n) Building Approvals certificate;
- (o) GAIC certificate;
- (p) Roads certificate;
- (q) Heritage Victoria certificate;

- (r) National Trust certificate;
- (s) EPA Priority Sites Register extract;
- (t) Aboriginal Heritage Register extract;
- (u) Design Guidelines;
- (v) Engineering drawings showing, among other things, proposed changes to the surface level of the Property and land in abutting lots; and
- (w) CGT Withholding Certificate.

Due Diligence Checklist



What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting consumer.vic.gov.au/duediligencechecklist.

Urban living

Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

Growth areas

Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

Flood and fire risk

Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

Rural properties

Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?
- Can you build new dwellings?
- Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

Soil and groundwater contamination

Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

Land boundaries

Do you know the exact boundary of the property?

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

Planning controls

Can you change how the property is used, or the buildings on it?

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

Are there any proposed or granted planning permits?

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

Safety

Is the building safe to live in?

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

Building permits

Have any buildings or retaining walls on the property been altered, or do you plan to alter them?

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

Are any recent building or renovation works covered by insurance?

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

Utilities and essential services

Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

Buyers' rights

Do you know your rights when buying a property?

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 08314 FOLIO 112

Security no : 124077641850N
Produced 27/05/2019 04:11 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 048078.
PARENT TITLES :
Volume 01367 Folio 387 Volume 06950 Folio 803
Created by instrument B250535 25/09/1961

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
AVID PROPERTY GROUP NOMINEES PTY LTD of UNIT 35 259 GEORGE STREET SYDNEY NSW
2000
AR936226J 18/02/2019

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AS030456H 22/03/2019
ANZ FIDUCIARY SERVICES PTY LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP048078 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AR936226J	TRANSFER	Registered	18/02/2019
AS030434T (E)	CONV PCT & NOM ECT TO LC	Completed	22/03/2019
AS030456H (E)	MORTGAGE	Registered	22/03/2019

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 50 BAYVIEW ROAD OFFICER VIC 3809

DOCUMENT END



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 09535 FOLIO 202

Security no : 124077641959U
Produced 27/05/2019 04:13 PM

LAND DESCRIPTION

Lot 1 on Title Plan 132216B.
PARENT TITLE Volume 08539 Folio 618
Created by instrument K592754 18/10/1983

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
AVID PROPERTY GROUP NOMINEES PTY LTD of 35/259 GEORGE STREET SYDNEY VIC 2000
AR935995N 18/02/2019

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AS030456H 22/03/2019
ANZ FIDUCIARY SERVICES PTY LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP132216B FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AR935995N	TRANSFER	Registered	18/02/2019
AS030434T (E)	CONV PCT & NOM ECT TO LC	Completed	22/03/2019
AS030456H (E)	MORTGAGE	Registered	22/03/2019

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 415 PRINCES HIGHWAY OFFICER VIC 3809

DOCUMENT END

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 09542 FOLIO 679

Security no : 124077641922K
Produced 27/05/2019 04:12 PM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 144824.
PARENT TITLES :
Volume 06025 Folio 855 Volume 08314 Folio 113
Created by instrument LP144824 10/02/1984

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
AVID PROPERTY GROUP NOMINEES PTY LTD of 35/GEORGE STREET SYDNEY NSW 2000
AR935797S 18/02/2019

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AS030456H 22/03/2019
ANZ FIDUCIARY SERVICES PTY LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP144824 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AR935797S	TRANSFER	Registered	18/02/2019
AS030434T (E)	CONV PCT & NOM ECT TO LC	Completed	22/03/2019
AS030456H (E)	MORTGAGE	Registered	22/03/2019

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 46 BAYVIEW ROAD OFFICER VIC 3809

DOCUMENT END

TITLE PLAN		EDITION 1	TP 132216B
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<p>Location of Land</p> <p>Parish: PAKENHAM Township: Section: Crown Allotment: Crown Portion:</p> <p>Last Plan Reference: LP 89386 Derived From: VOL 9535 FOL 202 Depth Limitation: NIL</p>	<p style="text-align: center;">Notations</p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>
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<p>Description of Land / Easement Information</p>	<p>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</p> <p>COMPILED: 03/09/1999 VERIFIED: CP</p>
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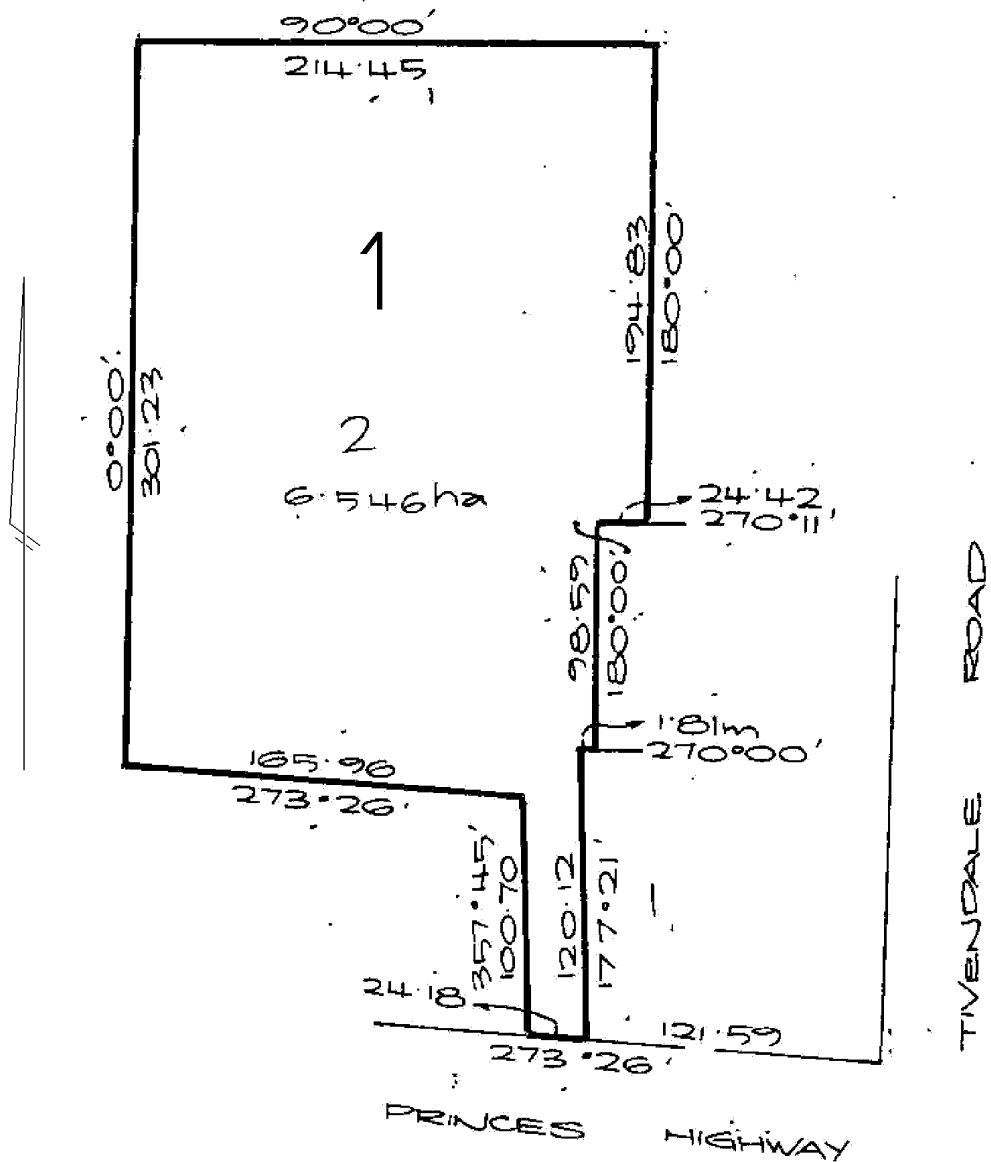



TABLE OF PARCEL IDENTIFIERS
<p>WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</p> <p>PARCEL 1 = LOT 2 (PT) ON LP 89386</p>

M

LP144824

EDITION 1

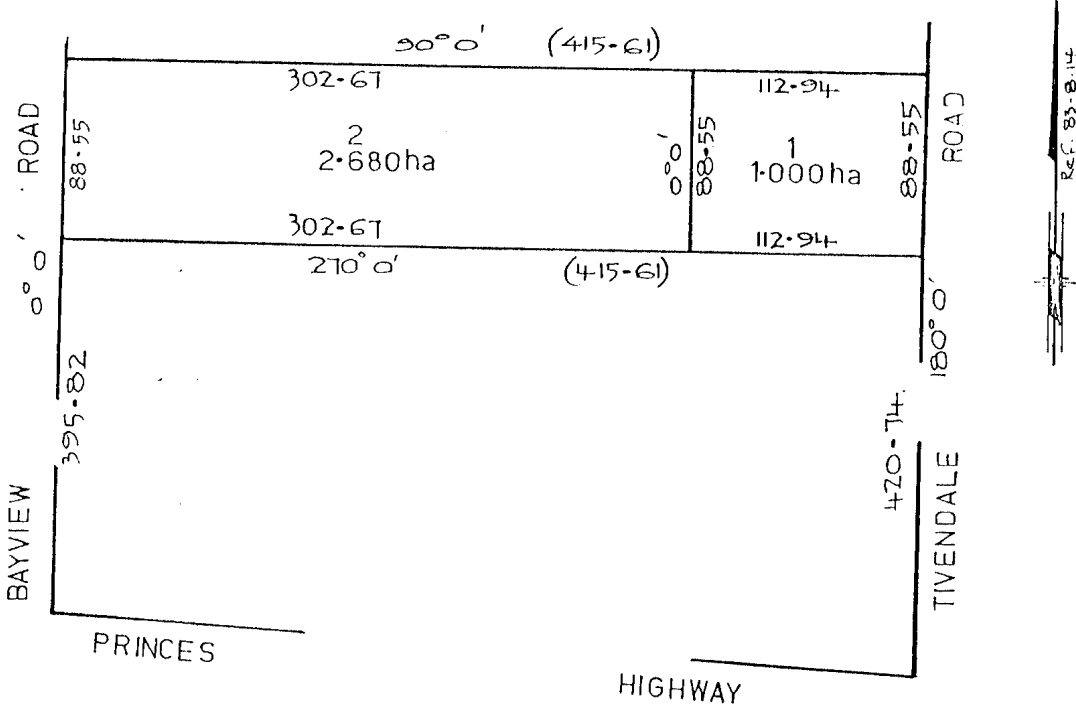
APPROVED 10/1/84

<p>PLAN OF SUBDIVISION OF PART OF CROWN ALLOTMENT 39^A + 39^B PARISH OF PAKENHAM COUNTY OF MORNINGTON</p> <p>SCALE  50 25 0 50 100 LENGTHS ARE IN METRES</p>	
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V.6025 - F.855
V.8314 - F.113

APPROVED
10-1-1984

LITHO SH.



CONSENT OF COUNCIL	SURVEYORS CERTIFICATION
<p>The Council of the Municipality of Mornington has considered the plan and has resolved to grant its consent to the subdivision of the land shown on the plan.</p> <p>For Consent ... <i>[Signature]</i> For Approval ... <i>[Signature]</i> Dated this 14th day of NOVEMBER 1983.</p>	<p>I CERTIFY THAT THIS PLAN HAS BEEN MADE BY ME & ACCORDS WITH TITLE & IS MATHEMATICALLY CORRECT</p> <p><i>Michael J. Redden</i> LICENSED SURVEYOR 14.8.1981</p>

PLAN OF SUBDIVISION	EDITION 1	PS826731D
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LOCATION OF LAND PARISH: PAKENHAM TOWNSHIP: SECTION: CROWN ALLOTMENT: 39A (Part) & 39B (Part) CROWN PORTION: TITLE REFERENCE: Vol. 8314 Fol. 112 Vol. 9542 Fol. 679 Vol. 9535 Fol. 202 LAST PLAN REFERENCE: LOT 1 ON LP48078 LOT 2 ON LP144824 LOT 1 ON TP132216B POSTAL ADDRESS: 46 - 50 BAYVIEW ROAD (at time of subdivision) OFFICER 3809 MGA 94 CO-ORDINATES: E: 360 240 ZONE: 55 (of approx centre of land in plan) N: 5 786 910	COUNCIL NAME: CARDINIA SHIRE COUNCIL
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VESTING OF ROADS AND/OR RESERVES	NOTATIONS
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IDENTIFIER	COUNCIL/BODY/PERSON	Lots 101 to 130 (both inclusive) may be affected by one or more restrictions. Refer to Creation of Restrictions A & B on Sheet 4 of this plan for details.
ROAD R1 RESERVE No.1	CARDINIA SHIRE COUNCIL AUSNET ELECTRICITY SERVICES PTY LTD	

NOTATIONS

DEPTH LIMITATION: Does Not Apply

SURVEY:
This plan is based on survey.

STAGING:
This is not a staged subdivision.

HILLSTOWE ESTATE
 Area of Release: 1.806ha
 No. of Lots: 30 Lots and Balance Lot A

PRELIMINARY
 THIS PLAN IS BASED ON THE CONCEPT DRAWING 1177 CONCEPT 25-SUB BY TAYLORS DATED 04/10/2018 AND IS SUBJECT TO DESIGN CHANGES, VERIFICATION OF BOUNDARIES BY SURVEY, APPROVALS FROM COUNCIL AND REFERRAL AUTHORITIES, AND ULTIMATE REGISTRATION AT LAND REGISTRATION SERVICES.

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

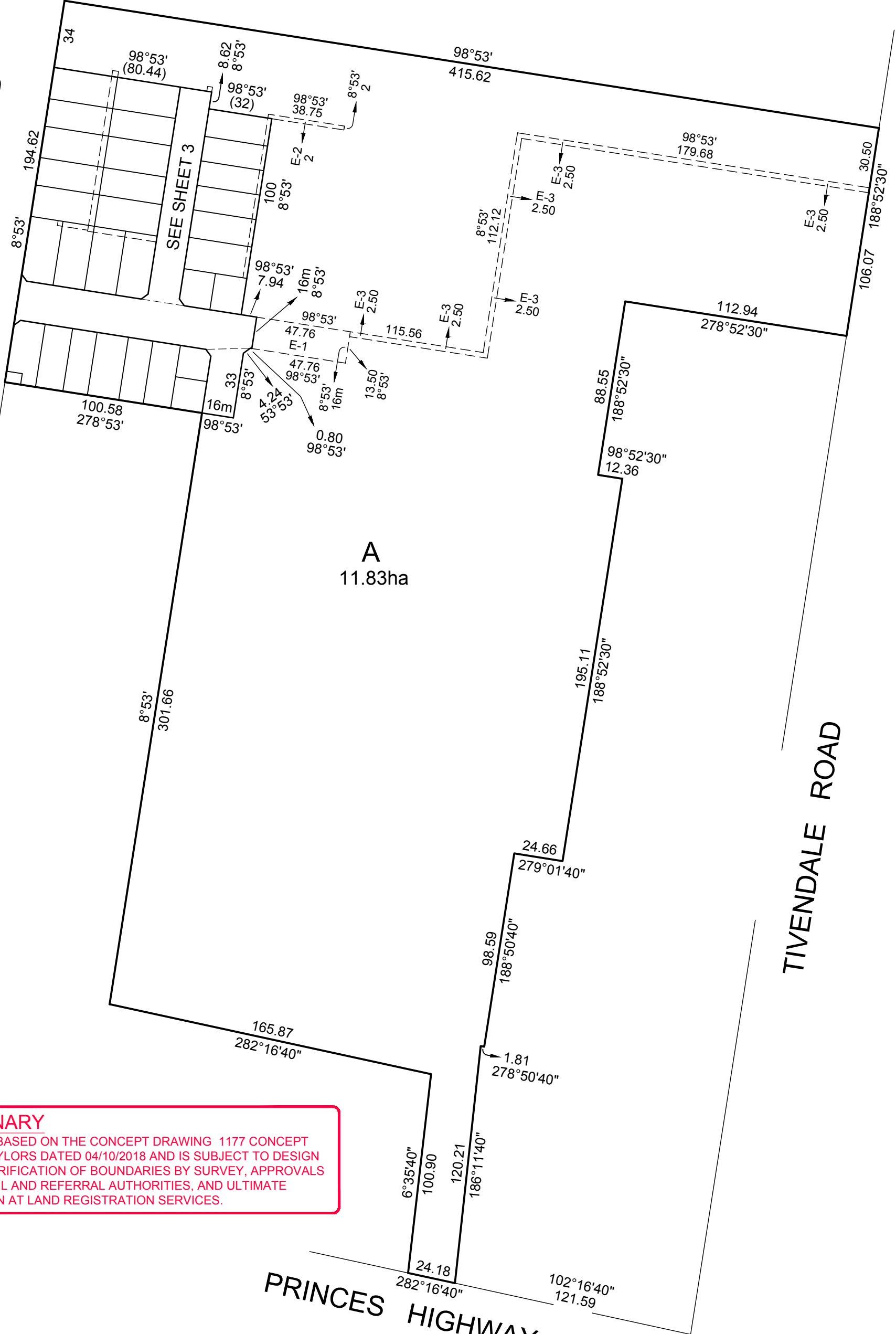
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	Drainage	See Diag.	This Plan	Cardinia Shire Council
	Sewerage			South East Water Corporation
E-2	Drainage	2m	This Plan	Cardinia Shire Council
E-3	Sewerage	2.50m	This Plan	South East Water Corporation

ADDITIONAL EASEMENTS MAY BE SHOWN ON THIS PLAN ONCE ENGINEERING DESIGN HAS BEEN COMPLETED

BAYVIEW ROAD

TIVENDALE ROAD

PRINCES HIGHWAY



SEE SHEET 3

A
11.83ha

PRELIMINARY
 THIS PLAN IS BASED ON THE CONCEPT DRAWING 1177 CONCEPT 25-SUB BY TAYLORS DATED 04/10/2018 AND IS SUBJECT TO DESIGN CHANGES, VERIFICATION OF BOUNDARIES BY SURVEY, APPROVALS FROM COUNCIL AND REFERRAL AUTHORITIES, AND ULTIMATE REGISTRATION AT LAND REGISTRATION SERVICES.



A
SEE SHEET 2

PS826731D

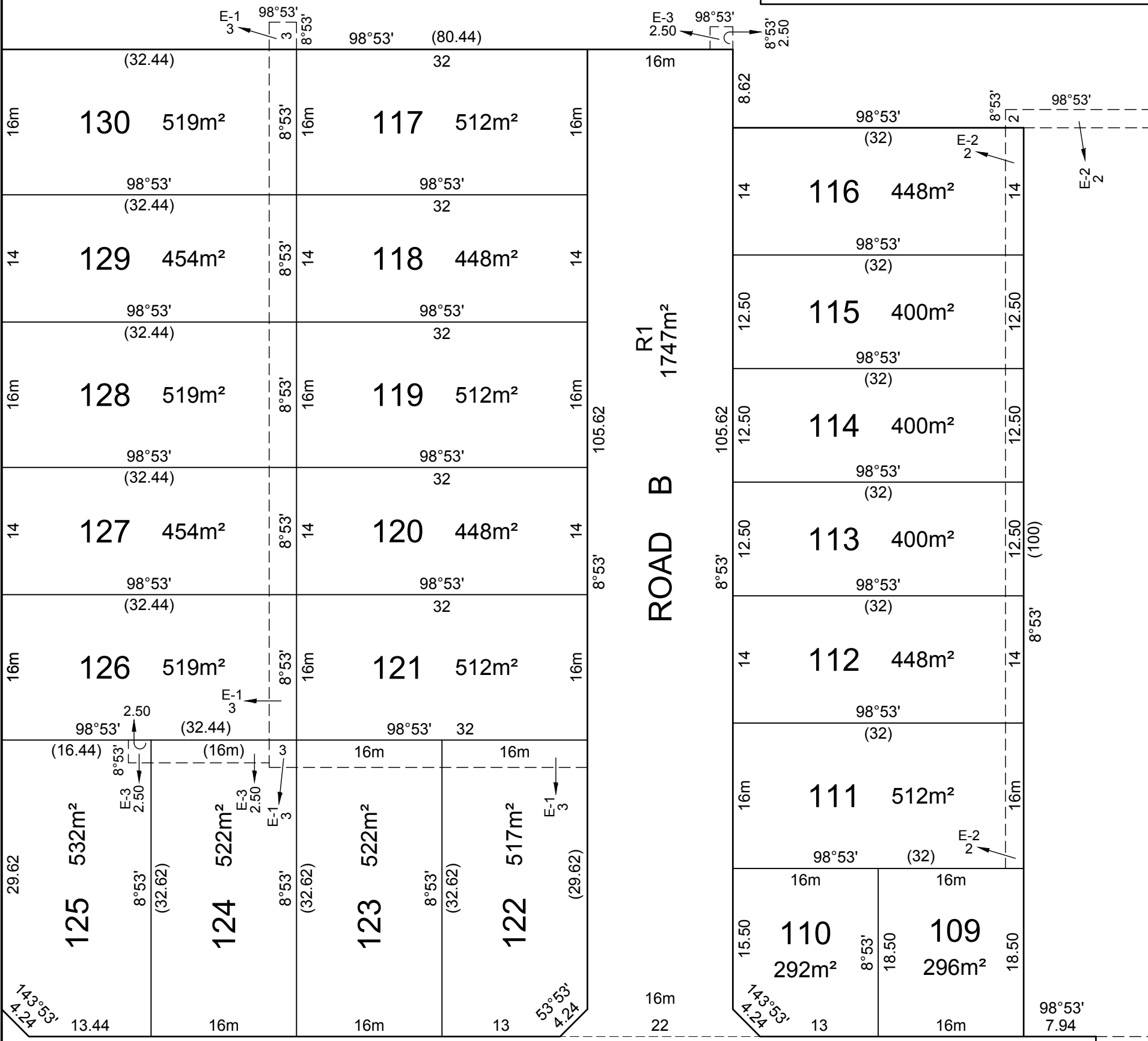
BAYVIEW ROAD

ROAD B
R1
1747m²

ROAD A
R1
2369m²

ROAD C
R1
553m²

RESERVE No. 1
45m²

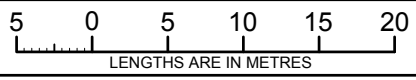


PRELIMINARY
THIS PLAN IS BASED ON THE CONCEPT DRAWING 1177 CONCEPT 25-SUB BY TAYLORS DATED 04/10/2018 AND IS SUBJECT TO DESIGN CHANGES, VERIFICATION OF BOUNDARIES BY SURVEY, APPROVALS FROM COUNCIL AND REFERRAL AUTHORITIES, AND ULTIMATE REGISTRATION AT LAND REGISTRATION SERVICES.

TAYLORS

Urban Development | Built Environments | Infrastructure
8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
Tel: 61 3 9501 2800 | Web: taylorss.com.au

SCALE
1:500



Licensed Surveyor:

RAYMOND LI / Version No 2

ORIGINAL SHEET
SIZE: A3

Ref. 01177-S1
Ver. 2

SHEET 3

CREATION OF RESTRICTION A

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See Table 1
 BENEFITED LAND: See Table 1

RESTRICTION:
 The burdened land cannot be used except in accordance with the provisions recorded in MCP
 Expiry date: 31/12/2025

TABLE 1

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
101	102
102	101, 103
103	102, 104
104	103, 105
105	104, 106
106	105, 107, 108
107	106, 108
108	106, 107
109	110, 111
110	109, 111
111	109, 110, 112
112	111, 113
113	112, 114
114	113, 115
115	114, 116

TABLE 1 continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
116	115
117	118, 130
118	117, 119, 129
119	118, 120, 128
120	119, 121, 127
121	120, 122, 123, 126
122	121, 123
123	121, 122, 124
124	123, 125, 126
125	124, 126
126	121, 124, 125, 127
127	120, 126, 128
128	119, 127, 129
129	118, 128, 130
130	117, 129

CREATION OF RESTRICTION B

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See Table 2
 BENEFITED LAND: See Table 2

RESTRICTION:
 Must not build or permit to be built or remain on the lot any building other than a building which has been constructed in accordance with the Small Lot Housing Code (SLHC) incorporated into the Cardinia Planning Scheme unless a planning permit is granted by the Responsible Authority for a building that does not conform with the SLHC.
 Expiry date: 31/12/2025

TABLE 2

BURDENED LOT No.	SLHC TYPE	BENEFITING LOTS ON THIS PLAN
107	A	106, 108
108	A	106, 107
109	A	110, 111
110	A	109, 111

PRELIMINARY

THIS PLAN IS BASED ON THE CONCEPT DRAWING 1177 CONCEPT 25-SUB BY TAYLORS DATED 04/10/2018 AND IS SUBJECT TO DESIGN CHANGES, VERIFICATION OF BOUNDARIES BY SURVEY, APPROVALS FROM COUNCIL AND REFERRAL AUTHORITIES, AND ULTIMATE REGISTRATION AT LAND REGISTRATION SERVICES.



Urban Development | Built Environments | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2800 | Web: taylorssds.com.au

Licensed Surveyor:

RAYMOND LI / Version No 2

ORIGINAL SHEET
 SIZE: A3

Ref. 01177-S1
 Ver. 2

SHEET 4

24 March 2014



Taylor's
Stephen Lake
8/270 Ferntree Gully Road
Notting Hill Vic 3168

Dear Sir,

App No.: T130581
Prop No.: 1701102300
Address.: L1 PS144824, 46 Bayview Road, Officer; L1 PS048078, 50 Bayview Road, Officer & L1 TP132216, , 415 Princes Highway, Officer
Proposal.: Multi-lot subdivision and associated works, subdivision adjacent to land within the road zone category 1 and works within the land subject to inundation overlay

I refer to the above planning permit application and wish to advise that a permit has been granted. Please find enclosed your copy of the permit.

Your attention is drawn to the conditions of the permit. Please read these conditions carefully and check as to whether there are any steps which you need to take prior to commencing the use or the development, including submission of additional plans.

Please be aware that it is your responsibility to ensure that all of the conditions on the permit are complied with and that the permit remains valid. Council does not advise you when the permit will expire.

Please note if the permit relates to a subdivision a change in street number allocation may occur.

This permit should be kept in a safe place for future reference.

If you have any further queries regarding this matter, please contact Council's Development Services Department on (03) 5945 4268 or mail@cardinia.vic.gov.au

Yours faithfully,

Lisa Hall
Project Planner - Urban Development

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council

FORM 4

CARDINIA

PLANNING PERMIT NUMBER: T130581


ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
L1 PS048078, 50 Bayview Road, Officer &
L1 TP132216, 415 Princes Highway, Officer

THIS PERMIT ALLOWS: Multi-lot subdivision and associated works,
subdivision adjacent to land within the road zone
category 1 and works within the land subject to
inundation overlay generally in accordance with the
approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. Before the plan of subdivision is certified, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans dated 9/01/14, by Taylors but modified to show:
 - a) The pavement width of the road located to the south of the reserve increased to 7.3m.
 - b) Greater lot width diversity between adjacent lots so that no four lots in a row have the same lot width.
 - c) Additional road widening (splay) at the intersection of the Connector street boulevard and Bayview Road as per the Officer Road Network – General Layout Plans, September 2011 and to the satisfaction of the Responsible Authority.
 - d) The '20m Rural Road' identified as 'local road type 2'.
 - e) The western portion of the Connector street boulevard currently within Stage 6 works included in Stage 2 works.
 - f) The telecommunications optical fibre cable network (or superior technology) for the subdivision. This can be shown indicatively on the plan or as a notation on the plan.
2. The Small Lot Housing Code forming part of the Officer Precinct Structure Plan (September 2011) applies to the subdivision of the land under this permit and the application of the Small Lot housing Code must be shown on any endorsed plans which are part of this planning permit.
3. The layout of the subdivision, and access as shown on the endorsed plan/s, must not be altered or modified without the prior written consent in writing of the Responsible Authority.
4. The subdivision must proceed in the order of stages as shown on the endorsed plan unless otherwise agreed in writing by the Responsible Authority.
5. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage facilities, electricity, gas and telecommunication services to each lot shown on the approved plan in accordance with the authority's requirements and relevant legislation at the time.

Date Issued: 24 March 2014

Signature for the
Responsible Authority: 

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
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THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

6. Existing and proposed easements and sites for existing or required utility services and roads on the land must be set aside in the plan of subdivision submitted for certification in favour of the relevant authority for which the easement or site is to be created.
7. The plan of subdivision submitted for certification under the *Subdivision Act 1988* must be referred to the relevant authorities under Section 8 of that Act.
8. The owner of the land must enter into an agreement with:
 - a) A telecommunications network or service provider for the provision of telecommunication services to each lot shown on the endorsed plan in accordance with the provider's requirements and relevant legislation at the time; and
 - b) A suitably qualified person for the provision of fibre ready telecommunication facilities to each lot shown on the endorsed plan in accordance with an industry specifications or any standards set by the Australian Communications and Media Authority, unless the applicant can demonstrate that the land is in an area where the National Broadband Network will not be provided by optical fibre.
9. Before the submission and approval of detailed design construction plans (engineering plans) and the certification of the relevant plan of subdivision for each stage, a functional layout plan for the subdivision or stage of subdivision, generally in accordance with the standards nominated in the Cardinia Shire Council "Guidelines for the Development & Subdivision of Land", "Development Construction Specification" and the Water Sensitive Urban Design (WSUD) Guidelines, to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority.

When approved, the functional layout plan will be endorsed and will then form part of the permit. Three copies of the functional layout plan must be drawn to a scale of 1:500 to acceptable drafting standards and an electronic copy (pdf) must be provided.

The functional layout plan must show:

- a) A fully dimensioned subdivision layout, including proposed street names, approximate lot areas, lot numbers and widths of street reservations;
- b) Topography and existing features, including contours for the subject land and any affected adjacent land;

Date Issued: 24 March 2014

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PLANNING PERMIT

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Responsible Authority: Cardinia
Shire Council



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THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

- c) Identification by survey of all trees (or group of trees) identified in the Native Vegetation Precinct Plan on the subject land, including dead trees and those that overhang the subject land from adjoining land;
- d) Details of tree protection zones (TPZs) for all trees to be retained on the subject land;
- e) All trees proposed for removal from the subject land clearly designated;
- f) Typical cross-sections for each street type, dimensioning individual elements, service offsets and any other spatial requirements identified in the Development Plan;
- g) Location and alignment of kerbs, indented parking spaces, footpaths, shared paths, bus stops and traffic controls;
- h) The proposed minor drainage network and any spatial features requiring access;
- i) The major drainage system including any watercourse, lake, wetland, sediment pond rain gardens, bio-infiltration system and/or piped elements showing preliminary sizing;
- j) Overland flow paths (100 year ARI) to indicate how excess runoff will safely be conveyed to its destination;
- k) Drainage outfall system (both interim and ultimate), indicating legal point of discharge and any access requirements for the construction and maintenance;
- l) A table of offsets for all utility services and street trees;
- m) Preliminary location of reserves for electrical kiosks; and
- n) Traffic management plan showing sufficient notional (unmarked) on-street car parking spaces, at the rate of one space per lot, traffic control devices and large vehicle turning overlays.

Sites that are not adjacent to existing or approved infrastructure will be required to show the following information in addition to the above standard requirements:

- a) The relationship between the subject subdivision stage and surrounding land;
- b) Proposed linkages to future streets, open space, regional path network and upstream drainage;
- c) Works external to the subdivision, including both interim and ultimate access requirements;

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to read "M. Hall", written over a horizontal line.

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

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L1 PS048078, 50 Bayview Road, Officer &
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THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

- d) Intersections with Category 1 road showing interim and ultimate treatments;
 - e) Drainage and sewerage outfalls including any easements required over other property.
10. Before the first stage of the plan of subdivision is certified the permit holder must:
- a) Submit to Council for approval, an integrated water management plan which demonstrates that this subdivision will conserve water resources while improving environmental protection from adverse water practices. The plan must be submitted to Council before the plan of subdivision is certified and the construction plans are submitted and is to be to the satisfaction of the Responsible Authority.
The plan is to include and apply where applicable:
 - i. Water sensitive urban design treatments to meet best practice water quality requirements including submission of the MUSIC model.
 - ii. Storm water control and retention measures.
 - iii. Sediment control and litter traps.
 - iv. Use of recycled water, if available.
 - v. Water infiltration practices.
 - vi. Water harvesting and reuse proposals.
 - vii. Outfall drainage location and requirements.
11. Before the plan of subdivision for the first stage of development is certified a landscape master plan to the satisfaction of the Responsible Authority, prepared by a person suitably qualified and experienced in landscape design, must be submitted to and approved by the Responsible Authority. When approved the plan will be endorsed and will then form part of the permit. The plan must be drawn to scale with dimensions and three copies must be provided. The plan must show:
- a) The proposed road reservation widths including proposed areas within the road reserve set aside for the retention of existing vegetation.
 - b) Site contours and any proposed changes to existing levels including any structural elements such as retaining walls.
 - c) The removal of all existing disused structures, foundations, pipelines or stockpiles and the eradication of weeds.

Date Issued: 24 March 2014

Signature for the
Responsible Authority: _____

A handwritten signature in black ink, appearing to be 'A. H. M.', written over a horizontal line.

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
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approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

- d) A detailed plant schedule of all proposed tree, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity and quantities of each plant. Indigenous plant species should be used where possible. Tree species for the Connector Street Boulevard must be consistent with those shown for this Street on the approved landscape masterplan for Planning Permit T100427a to the west (Timbertop).
 - e) The local park, showing the kick-about space centrally located and the width of the nature strips matching the specified cross sections.
 - f) Details about the treatment of interfaces with the surrounding road.
 - g) The proposed location, materials, finishes and final set out of pavement, street and park furniture, play equipment and structures.
 - h) Details of any entrance treatments.
 - i) The layout of street tree and reserve planting using semi mature trees, including the proposed location of evergreen and deciduous tree species.
12. Before the first stage of subdivision is certified, a detailed report by a suitably qualified environmental engineer (or equivalent) must be submitted to and be to the satisfaction of the Responsible Authority. The report must address and make recommendations on the following matters:
- a) Testing of soils with any staining.
 - b) Testing of soils under the shedding with tiled flooring.
 - c) Remediation measures to deal with the removal any contamination and the removal of the septic tank systems.

The recommendations of the report produced under this condition must be implemented to the satisfaction of the Responsible Authority.

13. Before the plan of subdivision for each stage of development is certified the permit holder must submit building design guidelines and fencing controls for all lots 300 square metres or greater to the satisfaction of the Responsible Authority. The guidelines must address the housing planning and design guidelines of the Officer Precinct Structure Plan and show the following:
- a) Building envelopes for each lot which generally accord with the standards of Clause 56.04-2. No building or part of a building may be constructed outside of a building envelope.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

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L1 PS048078, 50 Bayview Road, Officer &
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THIS PERMIT ALLOWS: Multi-lot subdivision and associated works,
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THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

-
- b) Fencing treatments which show:
 - i. boundary fencing for lots;
 - ii. minimisation of fencing along street boundaries and corner lots;
 - iii. avoidance of fencing for lots fronting onto public spaces;
 - iv. minimisation of fencing for battleaxe lots.
 - c) Details about the width of frontages and garages as a ratio to ensure that garages do not dominate the streetscape.
 - d) Garages located on the primary street frontage setback at equal or greater distance to that of the dwelling.
 - e) Details about dwelling design and fencing for lots with sideages onto laneways in order to provide surveillance and produce an attractive streetscape.
 - f) Measures to produce an attractive streetscape including the siting and design of dwellings, garages, fencing and landscaping.
 - g) The restriction or agreement relating to the building envelope is to cease to apply to any lot affected by the building envelope after the issue of a Certificate of Occupancy (or the like) under the Building Act for the whole of a dwelling on the lot to which the building envelope applies or at any other time which is specified in the restriction or agreement.
14. Before a plan is certified for a subdivision (or the relevant stage of a subdivision) where a building envelope is proposed, the plans endorsed under this planning permit must show a building envelope for each lot with an area less than 300 square metres that is in accordance with the Small Lot Housing Code forming part of the Officer Precinct Structure Plan (September 2011) to the satisfaction of the Responsible Authority.
15. Before the plan of subdivision is certified the permit holder must nominate the telecommunications fibre to the premises (FTTP) network provider to Council's Subdivision Department (ph. 5945 4315).
16. Before the plan of subdivision for the first stage of development is certified under the *Subdivision Act 1988* an amended Public Infrastructure Plan (PIP) must be submitted to and approved by the Responsible Authority.

Once approved, the PIP must be implemented to the satisfaction of the Responsible Authority.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to read 'N. Hall', written over a horizontal line.

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
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THIS PERMIT ALLOWS: Multi-lot subdivision and associated works, subdivision adjacent to land within the road zone category 1 and works within the land subject to inundation overlay generally in accordance with the approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

The PIP must show the proposed location, type, staging and timing of delivery of all infrastructure on the land which is identified in the (Officer Precinct Structure Plan, September 2011) Officer Development Contributions Plan (DCP) and (PSP), or which is otherwise reasonably required on or to the land or on any other land as a result of the subdivision of the land. Without limiting the extent of what must be shown on and in the PIP it must include the following:

- a) Provision and construction of the local park.
 - b) Identification of any pocket parks/linear reserves and that these do not count towards the property's Clause 52.01 obligation.
 - c) The east-west connector street boulevard.
 - d) Intersection treatment at the east-west connector street boulevard and Tivendale Road.
 - e) The east-west laneway along the rear of the Princes Highway properties.
 - f) The upgrade of the Bayview Road and Princes Highway intersection.
 - g) The upgrade of Bayview Road from the future east-west connector street boulevard to Princes Highway to a connector street.
 - h) The upgrade of Tivendale Road from the future east-west connector street boulevard to Princes Highway to a connector street.
 - i) The staging sequence.
 - j) The extent of any stormwater drainage works and road works proposed or required under this permit.
 - k) The land which is required to be set aside for infrastructure identified in the DCP or the PSP including land required for public open space and community facilities and any proposed reconciliation payment in respect of the land having regard to its value set out in the DCP.
 - l) An estimate of the extent of any equalisation which is required in respect of public open space to be provided having regard to the PSP and the DCP.
 - m) Subject to the consent of the Collecting Agency, any infrastructure works set out in the DCP which can be provided 'in lieu' of development contributions in accordance with the DCP.
 - n) The effects of the provision of infrastructure on the land or any other land.
-

Date Issued: 24 March 2014

Signature for the
Responsible Authority: 

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

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ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
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category 1 and works within the land subject to
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THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

- o) Any other item considered relevant by the Responsible Authority unless otherwise agreed in writing by the Responsible Authority.

The PIP may be amended with the consent of the Responsible Authority.

17. Before the plan of subdivision is certified the owner must enter into an agreement or agreements under section 173 of the *Planning and Environment Act 1987* which provides for:

- a) The implementation of the Public Infrastructure Plan approved under this permit.
- b) The equalisation of open space, if applicable, having regard to the areas set aside in a plan of subdivision and the amount specified in the schedule to Clause 52.01.
- c) The timing of any payments to be made to the owner in respect of any infrastructure project having regard to the availability of funds in the DCP or the public open space account.

18. Any:

- a) Works carried out in respect of any subdivision;
- b) Construction of buildings and associated works; and
- c) Removal, lopping or destruction of native vegetation on the land as authorized by the Native Vegetation Precinct Plan (NVPP) applying to the land –

must be carried out in accordance with all of the requirements set out in the incorporated NVPP applying to the land to the satisfaction of the Responsible Authority.

Only the native vegetation which is identified for removal in the incorporated NVPP applying to the land may be removed, lopped or destroyed without a permit.

Before the removal, destruction or lopping of any native vegetation within any property (identified by the Property Number Map 1 of the Officer NVPP) the owner of the land from which the native vegetation is being removed must provide offsets consistent with the incorporated NVPP by either:

- a) providing an allocated credit, extract issued by the Department of Sustainability and Environment; or
- b) preparing and submitting an Offset Plan to the satisfaction of the Department of Sustainability and Environment and have the Offset Plan approved by Responsible Authority.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to be 'A. Hall', written over a horizontal line.

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

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approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

Where an Offset Plan is approved:

- a) before the removal, destruction or lopping of any native vegetation, the owner of the land from which the native vegetation is being removed must provide on-title security for the Offset Site to the satisfaction of Department of Sustainability and Environment that provides for the implementation of the Offset Plan and pay the reasonable costs of the preparation, execution and registration of any on-title agreement; and
 - b) offsets must be initiated within 12 months of approval of the Offset Plan or before the removal of Very High Conservation Significance vegetation, whichever is earlier, and be implemented according to the schedule of works in the Officer Plan to the satisfaction of the Responsible Authority.
19. Prior to the commencement of any works a Construction Environmental Management Plan (CEMP) is to be prepared. The CEMP must specifically address significant flora and fauna where the buildings or works are within:
- a) 50 metres of any native vegetation to be retained in the Officer Precinct Native Vegetation Precinct Plan (September 2011); and/or
 - b) 100 metres of any waterbody (including creeks, drains, dams and wetlands) under the provisions of the Officer Precinct Structure Plan Conservation Management Plan (excluding Cardinia Creek) (15 September 2001).

The CEMP must address all requirements specified in the Officer Native Vegetation Precinct Plan (September 2011) and the relevant Conservation Management Plan and be to the satisfaction of the Responsible Authority.

20. The actions which identify the responsible agent as the "landowner" or "developer" in the Conservation Management Plan (CMP) must be implemented to the satisfaction of the Department of Sustainability and Environment.
21. At least 14 days before any works start, a site specific Environment Management Plan (EMP) to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved the EMP will be endorsed and will then form part of the permit. All works must be undertaken in accordance with the approved EMP.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to be 'M. H. H. H.', written over a horizontal line.

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

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THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

The EMP must address all environmental risks and include:

- a) Temporary stormwater management including sedimentation control,
 - b) Provision of pollution and contamination controls including noise and dust,
 - c) Location of stockpiles and stockpile management,
 - d) Location of site office and facilities,
 - e) Equipment, materials and goods management, and
 - f) Tree provision zones, trees to be retained and trees to be removed.
22. Prior to the commencement of works a Land Management Plan which provides for the interim management of land until ultimate development must be submitted to and approved by the Responsible Authority. All works must be in accordance with the approved Land Management Plan. The plan must include:
- a) Details about the placement of fill and prevention of dumping of materials;
 - b) Dust control measures;
 - c) Weed and pest control measures;
 - d) Mowing, slashing and fire risk management;
 - e) Details about grazing and other agricultural activity;
 - f) Access management (i.e. limiting access to the site from existing public roads until their construction to an urban standard) and construction access.
23. Prior to any works commencing within 100 metres of the edge of any waterbody which is to be retained, a highly visible fence is to be installed 20 metres from the edge of the water body.
24. A salvage and translocation plan must be prepared and implemented to the satisfaction of the Department of Sustainability and Environment and the approval of the Responsible Authority.
25. Prior to landscape works commencing for each stage detailed landscape plans for that stage must be submitted to and approved by the Responsible Authority. The plans must be in accordance with the approved Landscape Masterplan.
-

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to be 'K. Allen', written over a horizontal line.

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

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THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

26. Prior to works commencing for lighting of street and pedestrian/cycle paths for each stage plans/details must be submitted to the satisfaction of the Responsible Authority. The plans/details must be in accordance with Australian Standard 1158.1 to the satisfaction of the Responsible Authority. Streetlights for the Connector Street Boulevard must be consistent with those approved for this Street for Planning Permit T100427a to the west (Timbertop).
27. Prior to the installation of trees to be planted within the streetscape an inspection of the plant stock must be undertaken by Council's Open Space Department. Any trees deemed unsuitable must not be planted within the streetscape.
28. The permit holder must notify Council's Open Space Department a minimum of seven (7) days prior to commencing street tree planting and landscaping so that surveillance of the works can be undertaken.
29. The landscaping works shown on the approved landscape plan/s for the development must be carried out and completed to the satisfaction of the Responsible Authority.
30. The landscaping works shown on the approved landscape plan/s must be maintained for a minimum of twenty-four (24) months to the satisfaction of the Responsible Authority. During this time the Responsible Authority may direct maintenance activities be undertaken. The direction to undertake maintenance activities must be completed within 14 days of the written notification being received from the Responsible Authority.
31. All roads used for the purpose of haulage of imported or exported materials for construction must be:
 - a) Approved in writing by the Responsible Authority for the submitted haulage strategy, at least seven days prior to the commencement of use,
 - b) Maintained in accordance with the Responsible Authority's maintenance intervention levels, or as requested by the Responsible Authority if the road deteriorates during the haulage period, and
 - c) Reinstated to the satisfaction of the Responsible Authority.
32. No fill or excavated material for or from this development is to be carted/hailed into or from the site without first obtaining the further written consent from Council's Engineering Department at least seven (7) days prior to the cartage/haulage works commencing to the satisfaction of the Responsible Authority.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to be 'M. Hall', written over a horizontal line.

PLANNING PERMIT

Planning Scheme:
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Responsible Authority: Cardinia
Shire Council



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33. No polluted and/or sediment laden run-off is to be discharged directly or indirectly into drains or watercourses.
34. Pollution or litter traps must be provided on the land at appropriate points along the drainage system or drainage lines.
35. All earthworks must be undertaken in a manner that minimises soil erosion, and any exposed areas of soil must be stabilised to prevent soil erosion to the satisfaction of the Responsible Authority.
36. The applicant must provide reflective street number markers on the kerb in front of each lot to the satisfaction of the Responsible Authority.
37. Where practicable existing above ground power lines on the land must be undergrounded by the developer as part of the overall works to supply electricity to new lots.
38. Before the issue of a Statement of Compliance for each stage of subdivision the permit holder must:
 - a) Design and construct all road and drainage infrastructure in accordance with plans and specifications approved by the Responsible Authority. The works must comply with the standards nominated in the Cardinia Shire Council "Guidelines for the Development & Subdivision of Land", "Development Construction Specification" and the "Water Sensitive Urban Design (WSUD) Guidelines".
 - b) Design and construct outfall drainage for the subdivision to a satisfactory point of discharge in accordance with plans and specifications approved by the Responsible Authority.
 - c) Submit survey enhanced "as constructed" GIS data for the drainage, road and footpath information components of the subdivision, in accordance with the current version of D-SPEC and R-SPEC. Council's preferred format for the submission of the graphical data is in "MapInfo Native Format". A secondary format is "MapInfo MID/MIF". Grid Co-ordinates must be MGA zone 55 (GDA 94). Please refer to the A-SPEC website for further information: www.dspec.com.au.
 - d) Submit to Council for assessment CCTV results for the full length of all stormwater drainage pipes where Council is the Responsible Authority. The submitted information is to be to the satisfaction of the Responsible Authority.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to read 'A. Hall', written over a horizontal line.

Page 12 of 19

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
L1 PS048078, 50 Bayview Road, Officer &
L1 TP132216, 415 Princes Highway, Officer

THIS PERMIT ALLOWS: Multi-lot subdivision and associated works,
subdivision adjacent to land within the road zone
category 1 and works within the land subject to
inundation overlay generally in accordance with the
approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

-
- e) Submit "as constructed" digital road and drainage information for all civil works where Council is the Responsible Authority in AutoCAD format with all Xrefs binded into the drawings and showing any amendments during construction.
 - f) Complete landscaping works to the satisfaction of the Responsible Authority or by agreement with the Responsible Authority bond landscaping works incomplete at the completion of civil works. Payment can be in the form of a cash bond or bank guarantee to the value of 100% of the landscaping works. The bond will be released upon satisfactory completion of works.
 - g) Provide bonding to cover all landscaping works for the twenty four (24) month maintenance period. A Certificate of Final Completion will be issued by the Responsible Authority and the bond released at the end of the quarter for the period in which the 24 month maintenance period concludes, following the satisfactory completion and satisfactory maintenance of the landscaping. All maintenance activities are to be undertaken by the developer until a Certificate of Final Completion is received by the Responsible Authority.
 - h) Provide telecommunications fibre to the premises (FTTP) network to the lots.
 - i) Provide the telecommunications optical fibre cable network (or superior technology) to the lots.
39. Before a Statement of Compliance is issued under the *Subdivision Act 1988*:
- a) A cash payment equivalent to the value of the percentage of Net Developable Area of the land in lieu of the provision of land for Public Open Space in accordance with the Schedule to Clause 52.01 of the Cardinia Planning Scheme and the Precinct Structure Plan applying to the land must be paid to the Responsible Authority.
40. Before the issue of a Statement of Compliance for any stage of the subdivision under the *Subdivision Act 1988*, the owner of the land must provide written confirmation from:
- a) A telecommunications network or service provider that all lots are connected to or are ready for connection to telecommunications services in accordance with the provider's requirements and relevant legislation at the time; and
 - b) A suitably qualified person that fibre ready telecommunication facilities have been provided in accordance with any industry specifications or any standards set by the Australian

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
L1 PS048078, 50 Bayview Road, Officer &
L1 TP132216, 415 Princes Highway, Officer

THIS PERMIT ALLOWS: Multi-lot subdivision and associated works,
subdivision adjacent to land within the road zone
category 1 and works within the land subject to
inundation overlay generally in accordance with the
approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

Communications and Media Authority, unless the applicant can demonstrate that the land is in an area where the National Broadband Network will not be provided by optical fibre.

41. Prior to the issue of a Statement of Compliance under the Subdivision Act, the landowner must enter into a legally binding agreement (or an alternative agreement approved by DSE) for the payment to implement the Officer Precinct Structure Plan: Cardinia Creek Conservation Management Plan (8 September 2011) in accordance with Section 2.3.1 Management Responsibilities and Funding and Appendix 8 to the satisfaction of the Department of Sustainability and Environment. The landowner must pay the reasonable costs of the preparation, execution and registration of the agreement.
42. After certification of each plan of subdivision but not more than 21 days prior to the issue of a Statement of Compliance a Development Infrastructure Levy must be paid to the Collecting Agency, being Cardinia Shire Council in accordance with the provisions of the approved Officer Development Contributions Plan September 2011, unless the Responsible Authority has agreed in writing to accept the provision of works or land in lieu of the payment of the contribution in accordance with the Officer Development Contributions Plan September 2011.
43. Prior to the issue of a Statement of Compliance for each stage of development containing lots less than 300sqm the Small Lot Housing Code must be applied to these lots as a restriction on the plan of subdivision or through an agreement under section 173 of the Act that is registered on the title to the land. The Small Lot Housing Code will cease to apply to any building on a lot less than 300sqm after the issue of a Certificate of Occupancy for the whole of a dwelling and any associated garage or carport on the land.
44. Prior to the issue of a Statement of Compliance for each stage of development containing lots of 300sqm or greater, the permit holder must instigate to the satisfaction of the Responsible Authority appropriate controls to ensure the implementation of the building design guidelines and fencing controls. This may be by the use of a Section 173 Agreement under the *Planning and Environment Act 1987*, Notice of Restriction on each plan of subdivision or Memorandum of Common Provisions.
45. Prior to the issue of a Statement of Compliance for the relevant stage lighting of street and pedestrian/cycle paths must be provided in accordance with Australian Standard 1158.1 to the satisfaction of the Responsible Authority.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to read 'K. Hill'.

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
L1 PS048078, 50 Bayview Road, Officer &
L1 TP132216, 415 Princes Highway, Officer

THIS PERMIT ALLOWS: Multi-lot subdivision and associated works,
subdivision adjacent to land within the road zone
category 1 and works within the land subject to
inundation overlay generally in accordance with the
approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

46. Prior to the issue of a Statement of Compliance for the relevant stage a certificate from a geotechnical engineer must be submitted to the Responsible Authority certifying that the filling of any dam on the land has been undertaken in accordance with acceptable engineering standards.
47. The permit holder must within four (4) weeks of the registration of the plans at the Land Titles Office send to the Responsible Authority:
 - a) A Certificate of Title for all land vested in the Responsible Authority on the Plan of Subdivision.
 - b) A clear A-3 size photocopy of the Title Office approved Plan of Subdivision.

Melbourne Water

48. Prior to the issue of a Statement of Compliance, the owner shall enter into and comply with an agreement with Melbourne Water Corporation for the acceptance of surface and stormwater from the subject land directly or indirectly into Melbourne Water's drainage systems and waterways, the provision of drainage works and other matters in accordance with the statutory powers of Melbourne Water Corporation.
49. No polluted and / or sediment laden runoff is to be discharged directly or indirectly into Melbourne Water's drains or watercourses.
50. Prior to certification of any stage of the development a drainage strategy must be submitted and approved by Melbourne Water and Council, demonstrating the proposed alignment for the 1 in 5 year drainage infrastructure and the overland flow paths directions for the 1 in 100 year ARI flood event. The strategy is to include details of temporary and/or permanent outfall arrangements. Design plans and approvals from the relevant authorities and downstream landowner(s) needs to be included.
51. Prior to certification for any stage of development, all approvals from the relevant authorities for the design plans associated with the proposed drainage infrastructure needs to be submitted. These plans must detail indicative fill levels in relation to the 100 year flood event.
52. Engineering plans of the subdivision (in electronic format) are to be forwarded to Melbourne Water for comment/approval.

Date Issued: 24 March 2014

Signature for the
Responsible Authority: _____

A handwritten signature in black ink, appearing to be 'A. Hill'.

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
L1 PS048078, 50 Bayview Road, Officer &
L1 TP132216, 415 Princes Highway, Officer

THIS PERMIT ALLOWS: Multi-lot subdivision and associated works,
subdivision adjacent to land within the road zone
category 1 and works within the land subject to
inundation overlay generally in accordance with the
approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

53. All new lots are to be filled to a minimum of 300mm above the 1 in 100 year flood level associated with an existing or proposed Melbourne Water pipeline and 600mm above the 1 in 100 year flood level associated with any Melbourne Water waterway.
54. A Certified Survey Plan is to be submitted for approval after the completion of filling, verifying that the specified fill levels have been achieved. This will be required prior to an issue of a Statement of Compliance for the Subdivision.
55. Any road or access way intended to act as a stormwater overland flow path must be designed and constructed to comply with the floodway safety criteria outlined within Melbourne Waters Land Development Manual.
56. All local drainage must be to Council's satisfaction.
57. All new lots must achieve appropriate freeboard in relation to local overland flow paths to Council's satisfaction.
58. Prior to Certification, the Plan of Subdivision must be referred to Melbourne Water, in accordance with Section 8 of the *Subdivision Act 1988*.

South East Water

59. The owner of the subject land must enter into an agreement with South East Water for the provision of potable water supply and fulfil all requirements to its satisfaction.
60. The owner of the subject land must enter into an agreement with South East Water for the provision of recycled water supply and fulfil all requirements to its satisfaction.
61. The owner of the subject land must enter into an agreement with South East Water for the provision of sewerage and fulfil all requirements to its satisfaction.
62. All lots on the Plan of Subdivision are to be provided with separate connections to our potable water supply, recycled water supply and sewerage systems.
63. Prior to certification, the Plan of Subdivision must be referred to South East Water, in accordance with Section 8 of the *Subdivision Act 1988*.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to be 'A. H. M.', written over a horizontal line.

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
L1 PS048078, 50 Bayview Road, Officer &
L1 TP132216, 415 Princes Highway, Officer

THIS PERMIT ALLOWS: Multi-lot subdivision and associated works,
subdivision adjacent to land within the road zone
category 1 and works within the land subject to
inundation overlay generally in accordance with the
approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

Public Transport Victoria

64. The east / west Boulevard Connector road must be constructed to accommodate public transport access for buses in accordance with the Public Transport Guidelines for Land Use and Development to the satisfaction of Public Transport Victoria.
65. Unless otherwise agreed in writing with Public Transport Victoria, prior to the issue of a Statement of Compliance for any stage which contains indicative bus stops identified in the Officer Precinct Structure Plan, the permit holder must construct those stops to the satisfaction of Public Transport Victoria. Final bus stop location / design must be confirmed with Public Transport Victoria and consist of a concrete hard stand area with tactile ground surface indicators at the full cost of the permit holder.

SP AusNet

66. The Plan of Subdivision submitted for certification must be referred to SPI Electricity Pty Ltd in accordance with Section 8 of the *Subdivision Act 1988*.
67. The applicant must enter into an agreement with SPI Electricity Pty Ltd for supply of electricity to each lot on the endorsed plan.
68. The applicant must enter into an agreement with SPI Electricity Pty Ltd for the rearrangement of the existing electricity supply system.
69. The applicant must enter into an agreement with SPI Electricity Pty Ltd for rearrangement of the points of supply to any existing installations affected by any private electric power line which would cross a boundary created by the subdivision, or by such means as may be agreed by SPI Electricity Pty Ltd.
70. The applicant must provide easements satisfactory to SPI Electricity Pty Ltd for the purpose of "Power Line" in the favour of "SPI Electricity Pty Ltd" pursuant to Section 88 of the *Electricity Industry Act 2000*, where easements have not been otherwise provided, for all existing SPI Electricity Pty Ltd electric power lines and for any new power lines required to service the lots on the endorsed plan and/or abutting land.
71. The applicant must obtain for the use of SPI Electricity Pty Ltd any other easement required to service the lots.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to be 'J. Stoddart', written over a horizontal line.

Page 17 of 19

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
L1 PS048078, 50 Bayview Road, Officer &
L1 TP132216, 415 Princes Highway, Officer

THIS PERMIT ALLOWS: Multi-lot subdivision and associated works, subdivision adjacent to land within the road zone category 1 and works within the land subject to inundation overlay generally in accordance with the approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

72. The applicant must adjust the position of any existing SPI Electricity Pty Ltd easement to accord with the position of the electricity line(s) as determined by survey.
73. The applicant must set aside on the plan of subdivision Reserves for the use of SPI Electricity Pty Ltd for electric substations.
74. The applicant must provide survey plans for any electric substations required by SPI Electricity Pty Ltd and for associated power lines and cables and executes leases for a period of 30 years, at a nominal rental with a right to extend the lease for a further 30 years. SPI Electricity Pty Ltd requires that such leases are to be noted on the title by way of caveat or notification under Section 88 (2) of the Transfer of Land Act prior to the registration of the plan of subdivision.
75. The applicant must provide to SPI Electricity Pty Ltd a copy of the plan of subdivision submitted for certification that shows any amendments that have been required.
76. The applicant must agree to provide alternative electricity supply to lot owners and/or each lot until such time as permanent supply is available to the development by SPI Electricity Pty Ltd. Individual generators must be provided at each supply point. The generator for temporary supply must be installed in such a manner as to comply with the *Electricity Safety Act 1998*.
77. The applicant must ensure that all necessary auditing is completed to the satisfaction of SPI Electricity Pty Ltd to allow the new network assets to be safely connected to the distribution network.

Expiry of permit:

78. This permit will expire if:
 - a) The subdivision is not commenced within **two (2) years** of the date of this permit; or
 - b) The subdivision is not completed within **five (5) years** of the date of commencement.

Where the subdivision is to be developed in stages, the time specified for the commencement of the first stage is two years from the date of this permit. The time specified for the commencement of any subsequent stage is ten (10) years from the date of this permit and the time specified for the completion of each stage is five years from the date of its commencement.

The Responsible Authority may extend the periods referred to, if a request is made in writing before the permit expires or within three (3) months afterwards.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to be 'R. Hill'.

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority: Cardinia
Shire Council



FORM 4

PLANNING PERMIT NUMBER: T130581

ADDRESS OF THE LAND: L1 PS144824, 46 Bayview Road, Officer;
L1 PS048078, 50 Bayview Road, Officer &
L1 TP132216, 415 Princes Highway, Officer

THIS PERMIT ALLOWS: Multi-lot subdivision and associated works,
subdivision adjacent to land within the road zone
category 1 and works within the land subject to
inundation overlay generally in accordance with the
approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

Notes

The starting of the subdivision is regarded by Section 68(3A) of the *Planning and Environment Act 1987* as the certification of a plan, and completion is regarded as the registration of the plan.

Melbourne Water: If further information is required in relation to Melbourne Water's permit conditions shown above, please contact Melbourne Water on telephone 9679 7517, quoting Melbourne Water's reference 230138.

South East Water: Significant infrastructure will be required to service this development and it is suggested that Land Servicing Advice be obtained for the latest Planning requirements.

Date Issued: 24 March 2014

Signature for the
Responsible Authority:

A handwritten signature in black ink, appearing to be 'K. Hall', written over a horizontal line.

15 January 2018



Stephen Lake
Taylors
8/270 Ferntree Gully Road
Notting Hill VIC 3168

s.lake@taylorsds.com.au

Dear Steve,

Application No.: T130581
Property No.: 1701102300
Address: L1 PS144824, 46 Bayview Road, Officer, 415 Princes Highway, Officer
Proposal: Multi-lot subdivision and associated works, subdivision adjacent to land within the road zone category 1 and works within the land subject to inundation overlay

I refer to the above planning permit and your application to extend the time limit.

I wish to advise that the time for commencement of the development has been extended to **24 March 2020**.

This letter should be attached to the permit and kept in a safe place for future reference.

If you have any further queries regarding this matter, please contact Council's Development Services department on **03-5943-4379** or mail@cardinia.vic.gov.au

Yours faithfully,

Emily Cook
Growth Area Planner

PLANNING PERMIT

Planning Scheme:
Cardinia Planning Scheme
Responsible Authority:
Cardinia Shire Council

FORM 4

PLANNING PERMIT NUMBER: T140157

ADDRESS OF THE LAND: L1 P48078, 50 Bayview Road, Officer

THIS PERMIT ALLOWS: Installation of two (2) advertising signs (land sales)
generally in accordance with the approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. The location and details of the signs, as shown on the endorsed plans, must not be altered without the written consent of the Responsible Authority.
2. Once the development has commenced, it must be continued and completed to the satisfaction of the Responsible Authority.
3. The sign or any parts thereof must not be illuminated, animated or reflective and no flashing, intermittent lights or moving parts may be displayed.
4. The sign must be constructed, displayed and maintained to the satisfaction of the Responsible Authority.
5. No signs other than those allowed by this permit or the planning scheme may be displayed on the land without the written consent of the Responsible Authority.
6. The sign is to promote the sale of land or dwellings only. No other signage content is permitted.

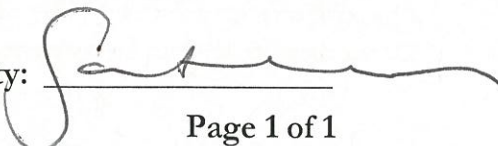
Expiry of permit:

This signage permit expires **5 years** from the date of issue of this permit.

The Responsible Authority may extend the periods referred to if a request is made in writing in accordance with Section 69 of the *Planning and Environment Act 1987*.

Date Issued: 29 April 2014

Signature for the
Responsible Authority:



Page 1 of 1

IMPORTANT INFORMATION ABOUT THIS NOTICE

WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 of Part 4 of the *Planning and Environment Act 1987*.)

WHEN DOES A PERMIT BEGIN?

A PERMIT OPERATES:

- a) From the date specified in the permit, or
 - b) If no date is specified; from:
 - i. The date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
 - ii. The date on which it was issued, in any other case.
-

WHEN DOES A PERMIT EXPIRE?

A PERMIT FOR THE DEVELOPMENT OF LAND EXPIRES IF:

- a) The development or any stage of it does not start within the time specified in the permit, or
- b) The development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act 1988* and the plan is not certified within two (2) years of the issue of the permit, unless the permit contains a different provision, or
- c) The development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in case of a subdivision or consolidation within five (5) years of the certification of the certification of the plan of subdivision or consolidation under the *Subdivision Act 1988*.

A PERMIT FOR THE USE OF LAND EXPIRES IF:

- a) The use does not start within the time specified in the permit, or if no time is specified, within two (2) years of the issue of within two years after the issue of the permit; or
- b) The use is discontinued for a period of two (2) years.

A PERMIT FOR THE DEVELOPMENT AND USE OF THE LAND EXPIRES IF:

- a) The development or any stage of it does not start within the time specified in the permit, or
- b) The development or any stage of it is not completed within the time specified in the permit, or if no time is specified within two years after the issue of the permit.
- c) The use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
- d) The use is discontinued for a period of two (2) years.

If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the *Planning and Environment Act 1987*, or to any combination of use, development or any of those circumstances requires the certification of a plan under the *Subdivision Act 1988*, unless the permit contains a different provision:

- a) The use or development of any stage is to be taken to have started when the
- b) Plan is certified; and
- c) The permit expires if the plan is not certified within two years of the issue of the permit.

The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

WHAT ABOUT APPEALS?

The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of review exists.

An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.

An application for review is lodged with the Victorian Civil and Administrative Tribunal.

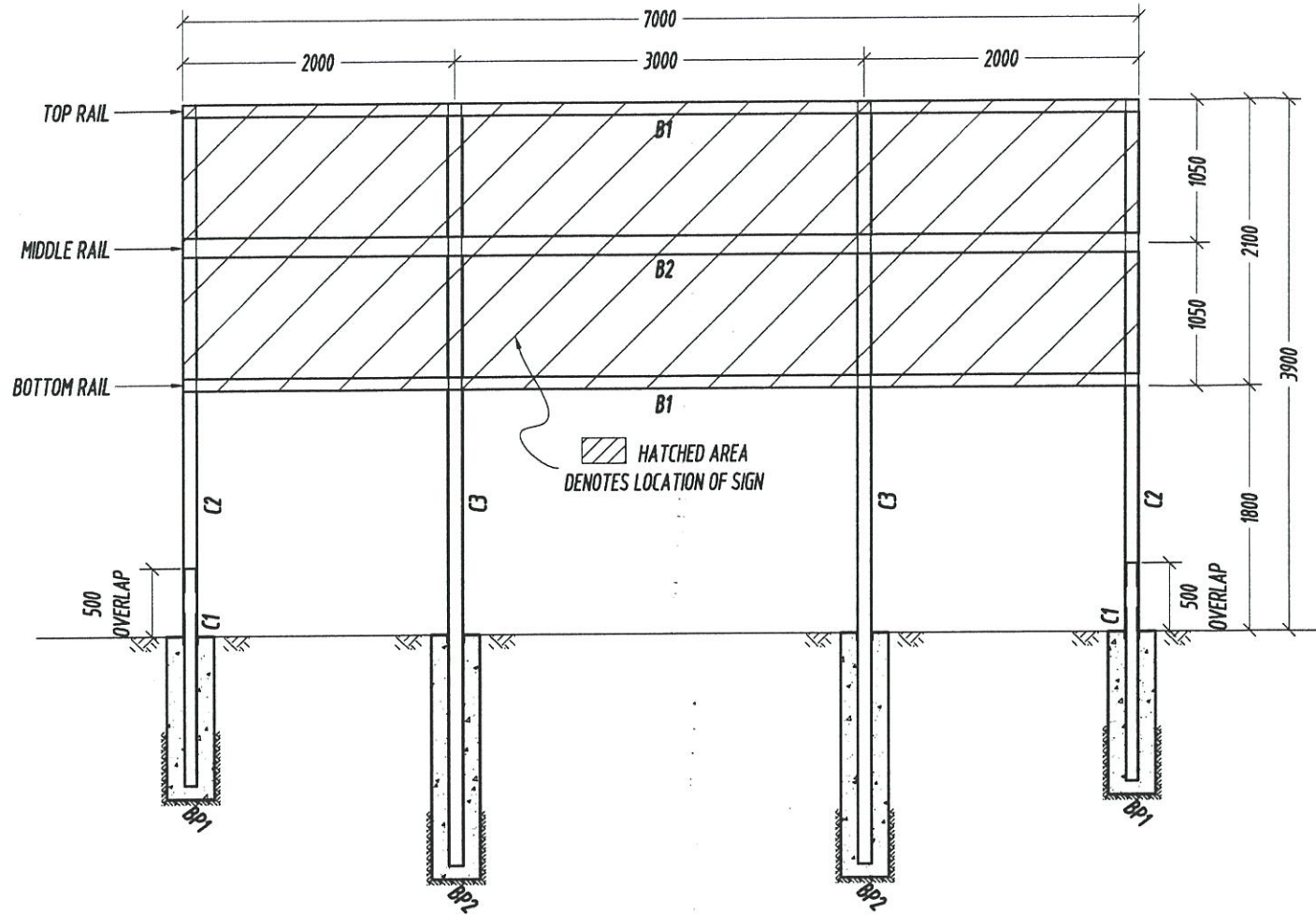
An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.

An application for review must state the grounds upon which it is based.

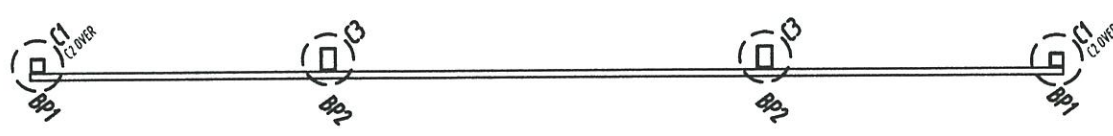
An application for review must also be served on the Responsible Authority.

Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal

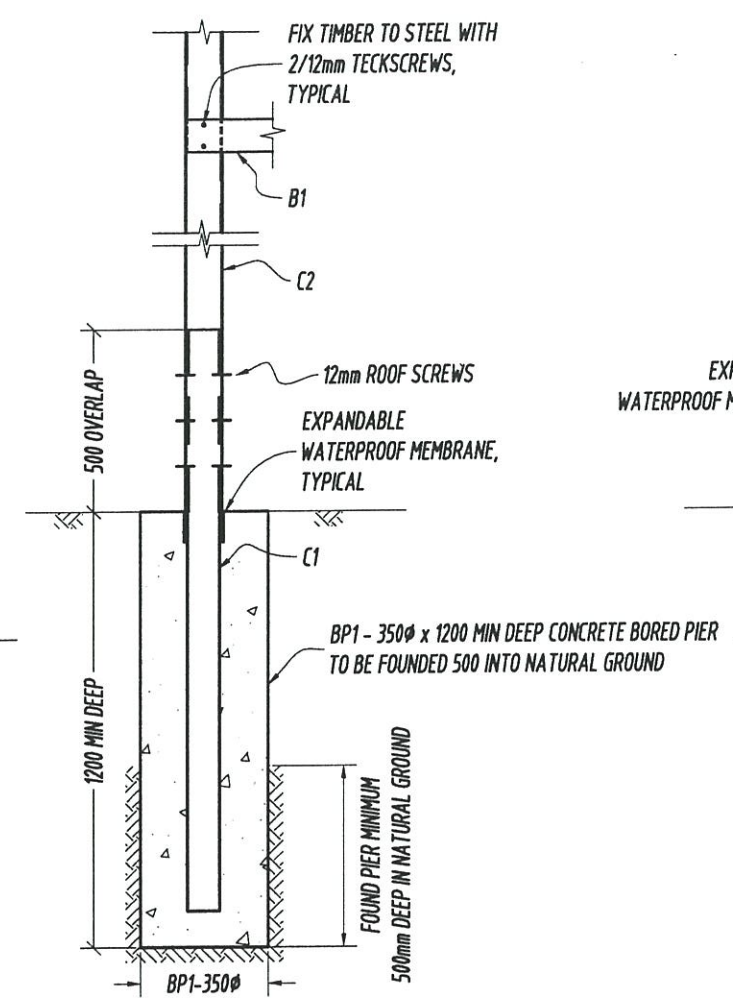
Victoria Civil and Administrative Tribunal, Planning List
55 King Street, MELBOURNE VIC 3000
Ph (03) 9628 9777 Fax: (03) 9628 9789



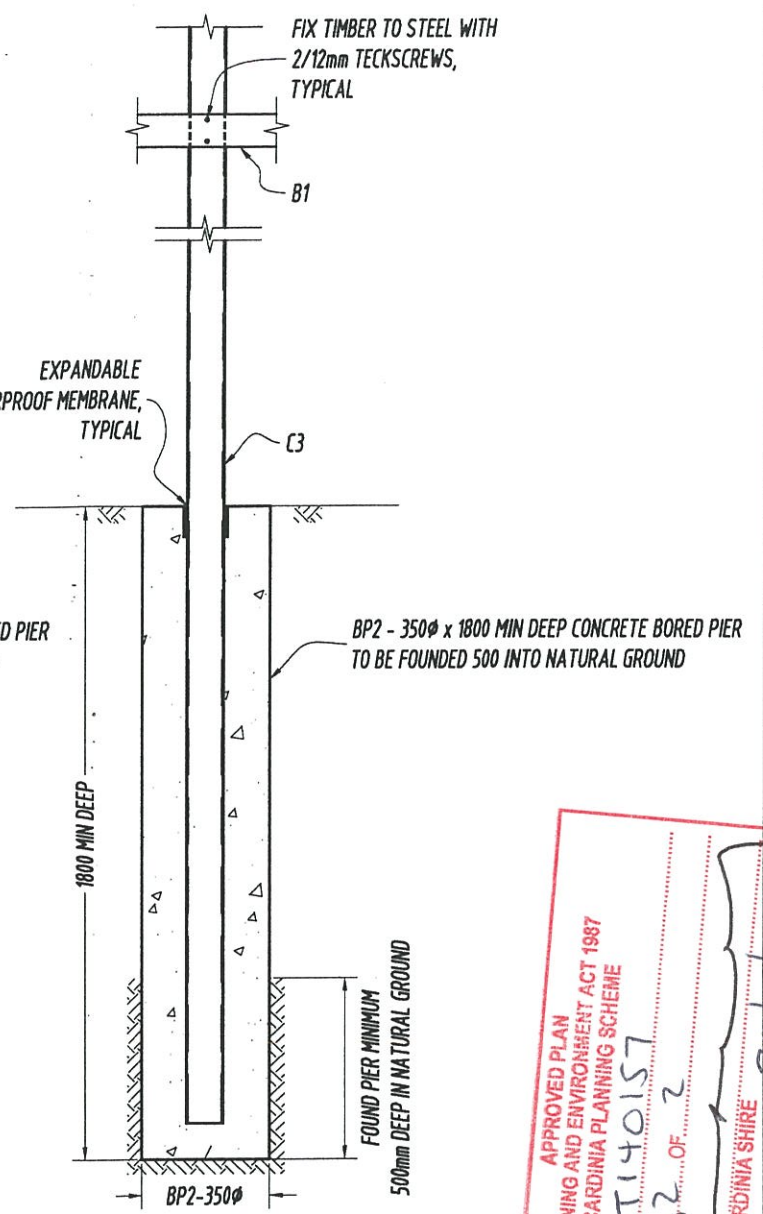
SIGN ELEVATION
SCALE 1:50



SIGN PLAN
SCALE 1:50



BP1 TYPICAL DETAIL
SCALE 1:20



BP2 TYPICAL DETAIL
SCALE 1:20

MEMBER SCHEDULE	
MARK	DESCRIPTION
B1	90 x 45 F17 KDHW 'SUITABLY WEATHER PROTECTED' 3000 MAX SPAN
B2	140 x 45 F17 KDHW 'SUITABLY WEATHER PROTECTED' 3000 MAX SPAN
C1	89 x 89 x 3.5 SHS
C2	100 x 100 x 3 SHS
C3	150 x 100 x 5.0 RHS
BP1	350φ x 1200 MIN DEEP CONCRETE BORED PIER TO BE FOUNDED 500 MIN INTO NATURAL GROUND
BP2	350φ x 1800 MIN DEEP CONCRETE BORED PIER TO BE FOUNDED 500 MIN INTO NATURAL GROUND

ALL EXPOSED STEEL WORK TO BE HOT DIPPED GALVANISED

ALL EXPOSED TIMBER TO BE TREATED OR BE A DURABLE SPECIES

APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME
PERMIT NO. T140157
SHEET 2 OF 2
SIGNED [Signature]
DATE 29/4/2014
CARDINIA SHIRE

RECEIVED
20 MAR 2014

PLANNING DEPARTMENT

REV.	DESCRIPTION	DATE
A	FIRST ISSUE	04/03/14

CHADWICK GRIMMOND
CONSULTING ENGINEERS PTY LTD
There are no problems, only solutions

SUITE G, 3/19 BRUCE ST. MORNINGTON, VIC. 3931
PHONE: 03 5973 4257 FAX: 03 5973 4258
EMAIL: egce@cgce.com.au WEBSITE: www.cgce.com.au

PROJECT
PROPOSED SIGNS
50 BAYVIEW ROAD, OFFICER

CLIENT
TERRY CARNEVALE

DESIGNED	JG
DRAWN	JT
CHECKED	JG
APPROVED	JG

DRAWING SIGN PLAN AND DETAILS				
IF IN DOUBT, THEN ASK				
DATE	SCALE	PROJECT NO.	DWG NO.	REV.
MAR '14	A3 - AS NOTED	CGR 6213	S2	A

Land Tax Clearance Certificate

Land Tax Act 2005



INFOTRACK / CORRS CHAMBERS WESTGARTH

Your Reference:	9143456
Certificate No:	30880864
Issue Date:	30 MAY 2019
Enquiries:	CXE2

Land Address: 50 BAYVIEW ROAD OFFICER VIC 3809

Land Id	Lot	Plan	Volume	Folio	Tax Payable
REFER TO ATTACHMENT					

Vendor: AVID PROPERTY GROUP NOMINEES PTY LTD

Purchaser: FOR INFORMATION PURPOSES

Current Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
REFER TO ATTACHMENT					

Comments: Refer to attachment

Current Vacant Residential Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
REFER TO ATTACHMENT					

Comments: Refer to attachment

Arrears of Land Tax	Year	Proportional Tax	Penalty/Interest	Total
---------------------	------	------------------	------------------	-------

This certificate is subject to the notes that appear on the reverse. The applicant should read these notes carefully.

Paul Broderick
Commissioner of State Revenue

CAPITAL IMP VALUE:	\$4,895,000
SITE VALUE:	\$4,895,000
AMOUNT PAYABLE:	\$113,410.16

Notes to Certificates Under Section 105 of the *Land Tax Act 2005*

Certificate No: 30880864

- Under Section 96 of the *Land Tax Act 2005* (the Act), unpaid land tax (including special land tax and vacant residential land tax) is a first charge on the land to which it relates and should the vendor default, payment will be obtained from the purchaser. The purchaser should take into account the possibility that the vendor may default where land tax has been assessed but not paid.
- A purchaser who has obtained a Certificate is only liable to a charge on the land to the amount of unpaid land tax as certified by a Certificate. A purchaser must obtain the Certificate from the Commissioner. They cannot rely on the Certificate obtained by the vendor.
- If land tax (including special land tax and vacant residential land tax) is due but not paid on a property, the Land Tax Clearance Certificate will certify the amount of land tax due and payable on that land. This amount will be binding on the Commissioner of State Revenue (the Commissioner) for purposes of section 96 of the Act whether or not it is paid to the State Revenue Office (SRO) on, or shortly after, settlement.
- The amount of land tax on this certificate relates to the amount of land tax (including special land tax and vacant residential land tax) due and payable as at the date of the application only and not to any future liability or the tax status of the land.
- A 'Nil' Land Tax Clearance certificate does not mean that the land on the certificate is exempt from land tax or vacant residential land tax.
- If land tax (including special land tax or vacant residential land tax) will be payable on a property but payment is not due at the time the application is processed, the certificate will certify the amount that should be retained by the purchaser at settlement and remitted to the SRO. The Commissioner will consider himself bound by this amount against the purchaser, only if the amount is remitted to the SRO.
- If the amount in 4. (above) is understated, the Commissioner has the right to seek recovery of the correct amount, or the balance, as the case may be, from the:
 - vendor, or
 - purchaser, if the vendor defaults and the certified amount has not been remitted to the SRO.
- If an amount is certified in respect of a proposed sale which is not completed, the Commissioner will not be bound by the same amount in respect of a later sale of the subject land - another certificate must be applied for in respect of that transaction.
- If an amount certified is excessively high (for example, because an exemption or concession has not been deducted in calculating the amount) the Commissioner will issue an amended certificate, without an additional fee being charged on receipt of sufficient evidence to that effect from the vendor.
- If no land tax (including special land tax or vacant residential land tax) is stated as being payable in respect of the property, the Commissioner will consider himself bound by that certification, in respect of the purchaser, if the land is subsequently found to be taxable and the vendor defaults.
- If the vendor refuses to be bound by an amount stated by the Commissioner and does not agree to the amount being withheld and remitted at settlement, the purchaser cannot rely on such refusal as a defence to an action by the Commissioner to recover the outstanding amount from the purchaser under Sections 96 or 98 of the Act.
- The information on a certificate cannot preclude the Commissioner from taking action against a vendor to recover outstanding land tax (including special land tax and vacant residential land tax).
- You can request a free update of a Land Tax Clearance Certificate via our website if:
 - there is no change to the parties involved in the transaction, and
 - the request is within 90 days of the original certificate being issued.

For Information Only

LAND TAX CALCULATION BASED ON SINGLE OWNERSHIP

Land Tax = \$67,612.50

Taxable Value = \$4,895,000

Calculated as \$24,975 plus (\$4,895,000 - \$3,000,000) multiplied by 2.250 cents.

Land Tax Clearance Certificate - Payment Options

BPAY

 Biller Code: 5249
Ref: 30880864

Telephone & Internet Banking - BPAY®

Contact your bank or financial institution to make this payment from your cheque, savings, debit or transaction account.

www.bpay.com.au

CARD

 Ref: 30880864

Visa or Mastercard.

Pay via our website or phone 13 21 61.
A card payment fee applies.

sro.vic.gov.au/paylandtax

Land Tax Clearance Certificate

Land Tax Act 2005

Certificate No: 30880864

Land Address: 50 BAYVIEW ROAD OFFICER VIC 3809

Land Id	Lot	Plan	Volume	Folio	Tax Payable
12286193	1	48078	8314	112	\$113,410.16

Land Tax Details	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
OFFICER PROPERTY UNIT TRUST	2019	\$4,895,000	\$98,624.23	\$0.00	\$98,624.23
RENZI PLACES UNIT TRUST	2016	\$2,110,000	\$18,198.34	\$0.00	\$4,793.34
RENZI PLACES UNIT TRUST	2015	\$2,110,000	\$18,198.34	\$0.00	\$4,793.34
RENZI PLACES UNIT TRUST	2014	\$1,463,000	\$11,878.25	\$0.00	\$5,199.25

Comments: Land Tax will be payable but is not yet due - please see note 6 on reverse.

Vacant Residential Land Tax Details	Year	Taxable Value	Tax Liability	Penalty/Interest	Total
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Comments:

Total Amount Payable for Property: 12286193 \$113,410.16

Total: \$113,410.16

Land Tax Clearance Certificate

Land Tax Act 2005



INFOTRACK / CORRS CHAMBERS WESTGARTH

Your Reference: 9143456

Certificate No: 30880856

Issue Date: 30 MAY 2019

Enquiries: CXE2

Land Address: 415 PRINCES HIGHWAY OFFICER VIC 3809

Land Id	Lot	Plan	Volume	Folio	Tax Payable
3132620	1	132216	9535	202	\$193,823.32

Vendor: AVID PROPERTY GROUP NOMINEES PTY LTD

Purchaser: FOR INFORMATION PURPOSES

Current Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
OFFICER PROPERTY UNIT TRUST	2019	\$9,620,000	\$193,823.32	\$0.00	\$193,823.32

Comments: Land Tax will be payable but is not yet due - please see note 6 on reverse.

Current Vacant Residential Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
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Comments:

Arrears of Land Tax	Year	Proportional Tax	Penalty/Interest	Total
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This certificate is subject to the notes that appear on the reverse. The applicant should read these notes carefully.

Paul Broderick
Commissioner of State Revenue

CAPITAL IMP VALUE: \$9,620,000

SITE VALUE: \$9,620,000

AMOUNT PAYABLE: \$193,823.32

Notes to Certificates Under Section 105 of the *Land Tax Act 2005*

Certificate No: 30880856

- Under Section 96 of the *Land Tax Act 2005* (the Act), unpaid land tax (including special land tax and vacant residential land tax) is a first charge on the land to which it relates and should the vendor default, payment will be obtained from the purchaser. The purchaser should take into account the possibility that the vendor may default where land tax has been assessed but not paid.
- A purchaser who has obtained a Certificate is only liable to a charge on the land to the amount of unpaid land tax as certified by a Certificate. A purchaser must obtain the Certificate from the Commissioner. They cannot rely on the Certificate obtained by the vendor.
- If land tax (including special land tax and vacant residential land tax) is due but not paid on a property, the Land Tax Clearance Certificate will certify the amount of land tax due and payable on that land. This amount will be binding on the Commissioner of State Revenue (the Commissioner) for purposes of section 96 of the Act whether or not it is paid to the State Revenue Office (SRO) on, or shortly after, settlement.
- The amount of land tax on this certificate relates to the amount of land tax (including special land tax and vacant residential land tax) due and payable as at the date of the application only and not to any future liability or the tax status of the land.
- A 'Nil' Land Tax Clearance certificate does not mean that the land on the certificate is exempt from land tax or vacant residential land tax.
- If land tax (including special land tax or vacant residential land tax) will be payable on a property but payment is not due at the time the application is processed, the certificate will certify the amount that should be retained by the purchaser at settlement and remitted to the SRO. The Commissioner will consider himself bound by this amount against the purchaser, only if the amount is remitted to the SRO.
- If the amount in 4. (above) is understated, the Commissioner has the right to seek recovery of the correct amount, or the balance, as the case may be, from the:
 - vendor, or
 - purchaser, if the vendor defaults and the certified amount has not been remitted to the SRO.
- If an amount is certified in respect of a proposed sale which is not completed, the Commissioner will not be bound by the same amount in respect of a later sale of the subject land - another certificate must be applied for in respect of that transaction.
- If an amount certified is excessively high (for example, because an exemption or concession has not been deducted in calculating the amount) the Commissioner will issue an amended certificate, without an additional fee being charged on receipt of sufficient evidence to that effect from the vendor.
- If no land tax (including special land tax or vacant residential land tax) is stated as being payable in respect of the property, the Commissioner will consider himself bound by that certification, in respect of the purchaser, if the land is subsequently found to be taxable and the vendor defaults.
- If the vendor refuses to be bound by an amount stated by the Commissioner and does not agree to the amount being withheld and remitted at settlement, the purchaser cannot rely on such refusal as a defence to an action by the Commissioner to recover the outstanding amount from the purchaser under Sections 96 or 98 of the Act.
- The information on a certificate cannot preclude the Commissioner from taking action against a vendor to recover outstanding land tax (including special land tax and vacant residential land tax).
- You can request a free update of a Land Tax Clearance Certificate via our website if:
 - there is no change to the parties involved in the transaction, and
 - the request is within 90 days of the original certificate being issued.

For Information Only

LAND TAX CALCULATION BASED ON SINGLE OWNERSHIP

Land Tax = \$173,925.00

Taxable Value = \$9,620,000

Calculated as \$24,975 plus (\$9,620,000 - \$3,000,000) multiplied by 2.250 cents.

Land Tax Clearance Certificate - Payment Options

BPAY



Billers Code: 5249
Ref: 30880856

Telephone & Internet Banking - BPAY®

Contact your bank or financial institution to make this payment from your cheque, savings, debit or transaction account.

www.bpay.com.au

CARD



Ref: 30880856

Visa or Mastercard.

Pay via our website or phone 13 21 61.
A card payment fee applies.

sro.vic.gov.au/paylandtax

Land Tax Clearance Certificate

Land Tax Act 2005



INFOTRACK / CORRS CHAMBERS WESTGARTH

Your Reference:	9143456
Certificate No:	30881315
Issue Date:	30 MAY 2019
Enquiries:	CXE2

Land Address: 46 BAYVIEW ROAD OFFICER VIC 3809

Land Id	Lot	Plan	Volume	Folio	Tax Payable
REFER TO ATTACHMENT					

Vendor: AVID PROPERTY GROUP NOMINEES PTY LTD

Purchaser: FOR INFORMATION PURPOSES

Current Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
REFER TO ATTACHMENT					

Comments: Refer to attachment

Current Vacant Residential Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
REFER TO ATTACHMENT					

Comments: Refer to attachment

Arrears of Land Tax	Year	Proportional Tax	Penalty/Interest	Total
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This certificate is subject to the notes that appear on the reverse. The applicant should read these notes carefully.

Paul Broderick
Commissioner of State Revenue

CAPITAL IMP VALUE:	\$3,565,000
SITE VALUE:	\$3,565,000
AMOUNT PAYABLE:	\$100,529.35

Notes to Certificates Under Section 105 of the *Land Tax Act 2005*

Certificate No: 30881315

- Under Section 96 of the *Land Tax Act 2005* (the Act), unpaid land tax (including special land tax and vacant residential land tax) is a first charge on the land to which it relates and should the vendor default, payment will be obtained from the purchaser. The purchaser should take into account the possibility that the vendor may default where land tax has been assessed but not paid.
- A purchaser who has obtained a Certificate is only liable to a charge on the land to the amount of unpaid land tax as certified by a Certificate. A purchaser must obtain the Certificate from the Commissioner. They cannot rely on the Certificate obtained by the vendor.
- If land tax (including special land tax and vacant residential land tax) is due but not paid on a property, the Land Tax Clearance Certificate will certify the amount of land tax due and payable on that land. This amount will be binding on the Commissioner of State Revenue (the Commissioner) for purposes of section 96 of the Act whether or not it is paid to the State Revenue Office (SRO) on, or shortly after, settlement.
- The amount of land tax on this certificate relates to the amount of land tax (including special land tax and vacant residential land tax) due and payable as at the date of the application only and not to any future liability or the tax status of the land.
- A 'Nil' Land Tax Clearance certificate does not mean that the land on the certificate is exempt from land tax or vacant residential land tax.
- If land tax (including special land tax or vacant residential land tax) will be payable on a property but payment is not due at the time the application is processed, the certificate will certify the amount that should be retained by the purchaser at settlement and remitted to the SRO. The Commissioner will consider himself bound by this amount against the purchaser, only if the amount is remitted to the SRO.
- If the amount in 4. (above) is understated, the Commissioner has the right to seek recovery of the correct amount, or the balance, as the case may be, from the:
 - vendor, or
 - purchaser, if the vendor defaults and the certified amount has not been remitted to the SRO.
- If an amount is certified in respect of a proposed sale which is not completed, the Commissioner will not be bound by the same amount in respect of a later sale of the subject land - another certificate must be applied for in respect of that transaction.
- If an amount certified is excessively high (for example, because an exemption or concession has not been deducted in calculating the amount) the Commissioner will issue an amended certificate, without an additional fee being charged on receipt of sufficient evidence to that effect from the vendor.
- If no land tax (including special land tax or vacant residential land tax) is stated as being payable in respect of the property, the Commissioner will consider himself bound by that certification, in respect of the purchaser, if the land is subsequently found to be taxable and the vendor defaults.
- If the vendor refuses to be bound by an amount stated by the Commissioner and does not agree to the amount being withheld and remitted at settlement, the purchaser cannot rely on such refusal as a defence to an action by the Commissioner to recover the outstanding amount from the purchaser under Sections 96 or 98 of the Act.
- The information on a certificate cannot preclude the Commissioner from taking action against a vendor to recover outstanding land tax (including special land tax and vacant residential land tax).
- You can request a free update of a Land Tax Clearance Certificate via our website if:
 - there is no change to the parties involved in the transaction, and
 - the request is within 90 days of the original certificate being issued.

For Information Only

LAND TAX CALCULATION BASED ON SINGLE OWNERSHIP

Land Tax = \$37,687.50

Taxable Value = \$3,565,000

Calculated as \$24,975 plus (\$3,565,000 - \$3,000,000) multiplied by 2.250 cents.

Land Tax Clearance Certificate - Payment Options

BPAY 	Biller Code: 5249 Ref: 30881315
Telephone & Internet Banking - BPAY®	
Contact your bank or financial institution to make this payment from your cheque, savings, debit or transaction account.	
www.bpay.com.au	

CARD 	Ref: 30881315
Visa or Mastercard.	
Pay via our website or phone 13 21 61. A card payment fee applies.	
sro.vic.gov.au/paylandtax	

Land Tax Clearance Certificate

Land Tax Act 2005

Certificate No: 30881315

Land Address: 46 BAYVIEW ROAD OFFICER VIC 3809

Land Id	Lot	Plan	Volume	Folio	Tax Payable
19221013	2	144824	9542	679	\$100,529.35

Land Tax Details	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
OFFICER PROPERTY UNIT TRUST	2019	\$3,565,000	\$71,827.45	\$0.00	\$71,827.45
ZITA UNIT TRUST	2018	\$2,050,000	\$17,741.50	\$1,023.30	\$6,139.80
ZITA UNIT TRUST	2017	\$2,050,000	\$17,741.50	\$1,023.30	\$6,139.80
ZITA UNIT TRUST	2016	\$1,390,000	\$11,020.50	\$985.10	\$5,910.60
ZITA UNIT TRUST	2015	\$1,390,000	\$11,020.50	\$985.10	\$5,910.60
ZITA UNIT TRUST	2014	\$1,099,000	\$7,601.25	\$766.85	\$4,601.10

Comments: Land Tax will be payable but is not yet due - please see note 6 on reverse.

Vacant Residential Land Tax Details	Year	Taxable Value	Tax Liability	Penalty/Interest	Total
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Comments:

Total Amount Payable for Property: 19221013 \$100,529.35

Total: \$100,529.35

INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

Corrs Chambers Westgarth C/-
InfoTrack
E-mail: certificates@landata.vic.gov.au

Statement for property:
LOT 1 50 BAYVIEW ROAD OFFICER
3809
1 LP 48078

REFERENCE NO.	YOUR REFERENCE	DATE OF ISSUE	CASE NUMBER
62A/19226/17	LANDATA CER 31715216-025-5	27 MAY 2019	33844059

1. Statement of Fees Imposed

(a) By Other Authorities

Melbourne Water Corporation Total Service Charges	01/04/2019 to 30/06/2019	\$25.18
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(b) By South East Water

Water Service Charge	01/04/2019 to 30/06/2019	\$29.16
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Subtotal Service Charges		<u>\$54.34</u>
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TOTAL UNPAID BALANCE		\$54.34
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- The meter at the property was last read on 13/03/2019. Fees accrued since that date may be estimated by reference to the following historical information about the property:
 - Financial Updates (free service) are only available online please go to (type / copy the complete address shown below): <https://secureapp.southeastwater.com.au/PropertyConnect/#/order/info/update>
- * Please Note: if usage charges appear above, the amount shown includes one or more of the following:
Water Usage, Recycled Water Usage, Sewage Disposal, Fire Service Usage and Trade Waste Volumetric Fees.
Interest may accrue on the South East Water charges listed in this statement if they are not paid by the due date as set out in the bill.
- The total annual service fees and volumetric fees for water usage and sewerage disposal for each class of property are set out at www.southeastwater.com.au.
 - Updates of rates and other charges will only be provided for up to six months from the date of this statement.
 - If this property has recently been subdivided from a "parent" title, there may be service or other charges owing on the "parent" which will be charged to this property, once sold, that do not appear on this statement. You must contact us to see if there are any such charges as they may be charged to this property on sale and should therefore be adjusted with the owner of the parent title beforehand.

AUTHORISED OFFICER:



TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198

INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

- If the property is sold, the vendor is liable to pay all fees incurred in relation to the property until the vendor gives South East Water a Notice of Disposition of Land required by the Water (Disposition of Land) Regulations 2010. Please include the Reference Number set out above in that Notice.
- Fees relating to the property may change from year-to-year in accordance with the Essential Service Commission's Price Determination for South East Water.
- Every fee referred to above is a charge against the property and will be recovered from a purchaser of the property if it is not paid by the vendor.
- Information about when and how outstanding fees may be paid, collected and recovered is set out in the Essential Services Commission's Customer Service Code, Urban Water Businesses.
- If this Statement only sets out rates and fees levied by Parks Victoria and Melbourne Water, the property may not be connected to South East Water's works. To find out whether the property is, or could be connected upon payment of the relevant charges, or whether it is separately metered, telephone 131 694.
- For a new connection to our water or sewer services, fees / charges will be levied.

2. Encumbrance Summary

Where available, the location of sewers is shown on the attached plan. Please ensure where manholes appear, that they remain accessible at all times "DO NOT COVER". Where driveways/paving is proposed to be constructed over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset, the owner will be responsible for all costs associated with any demolition and or re-instatement works, necessary to allow maintenance and or repair of the asset effected. Where changes to the surface levels requires maintenance shafts/holes to be altered, all works must be carried out by South East Water approved contractors only. For information call 131694. For all other works, prior consent is required from south East Water for any construction over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset.

A drain is located at the rear of the property.

The property is subject to flooding. For further information contact Melbourne Water on 9679-7517.

ENCUMBRANCE ENQUIRY EMAIL infostatements@sew.com.au

If no plan is attached to this Statement, South East Water is not aware of any works belonging to South East Water being present on the property.

If a plan is attached to this Statement, it indicates the nature of works belonging to South East Water, their approximate location, and the approximate location of any easement relating to those works.

Important Warnings

The map base for any attached plan is not created by South East Water which cannot and does not guarantee the accuracy, adequacy or completeness of any information in the plan, especially the exact location of any of South East Water's works, which may have changes since the attached plan was prepared. Their location should therefore be proven by hand before any works are commenced on the land.

Unless South East Water's prior written approval is obtained, it is an offence to cause any structure to be built or any filling to be placed on a South East Water easement or within 1 metre laterally of any of its works or to permit any structure to be built above or below any such area.

AUTHORISED OFFICER:



TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198

INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

Any work that requires any South East Water manhole or maintenance shaft to be altered may only be done by a contractor approved by South East Water at the property owner's cost.

If the owner builds or places filling in contravention of that requirement, the owner will be required to pay the cost of any demolition or re-instatement of work that South East Water considers necessary, in order to maintain, repair or replace its asset.

This Statement does not include any information about current or outstanding consent issued for plumbing works on at the property.

3. Disclaimer

This Statement does not contain all the information about the property that a prospective purchaser may wish to know. Accordingly, appropriate enquiries should be made of other sources and information.

South East Water has prepared the information in this Statement with due care and diligence. It cannot and does not accept liability for any loss or damage arising from reliance on the information given, beyond the extent set out in section 155 of the Water Act 1989 and sections 18 and 29 of the Australian Consumer Law.

AUTHORISED OFFICER:



TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

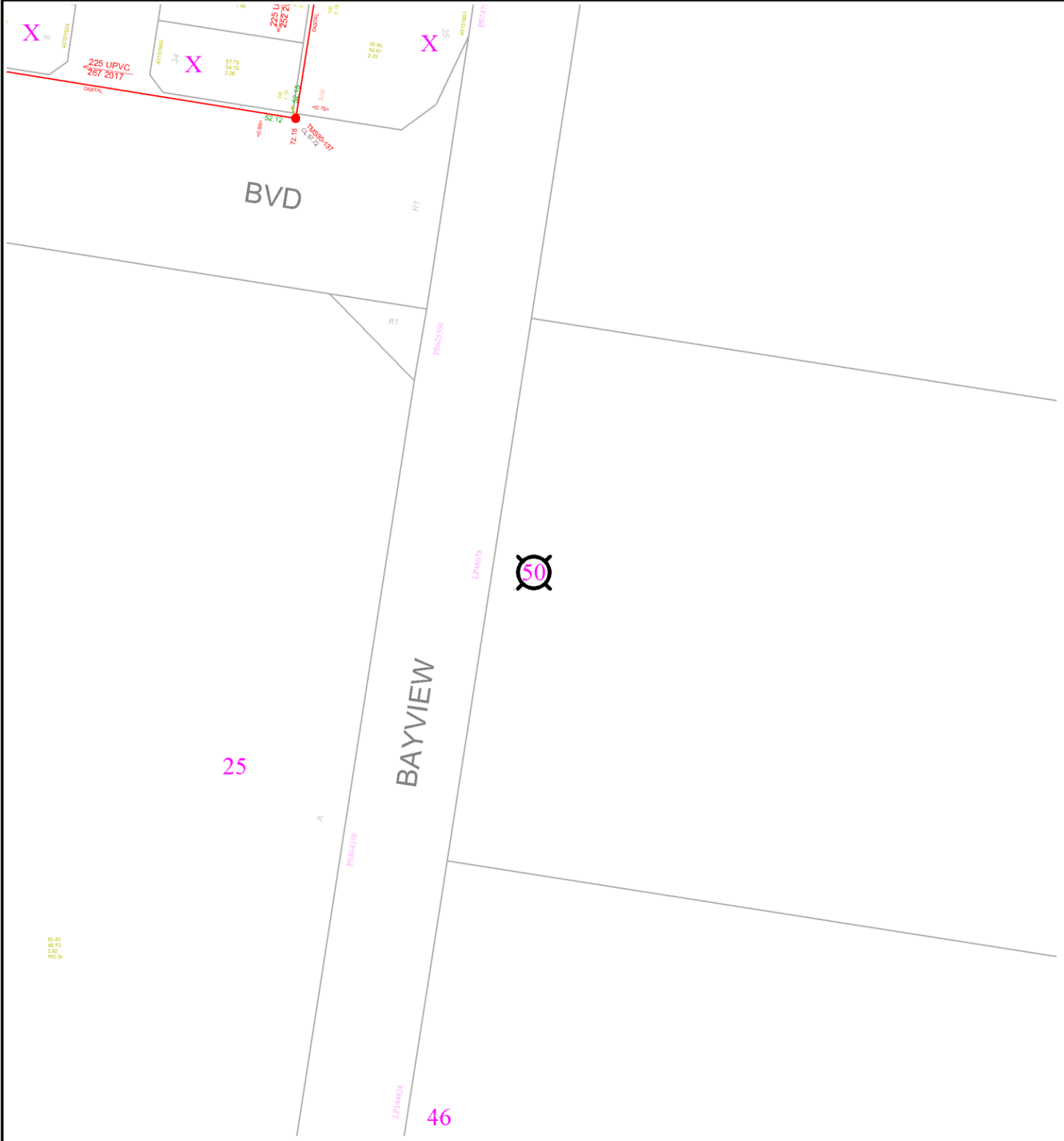
South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198



Case Number: 33844059



Date: 27MAY2019



WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange.

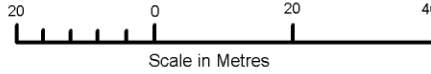
	Title/Road Boundary		Subject Property		Maintenance Hole
	Proposed Title/Road		Sewer Main		Inspection Shaft
	Easement		Direction of Flow		Offset from Boundary

Melbourne Water Assets					
	Sewer Main		Underground Drain		Natural Waterway
	Maintenance Hole		Channel Drain		Underground Drain M.H.

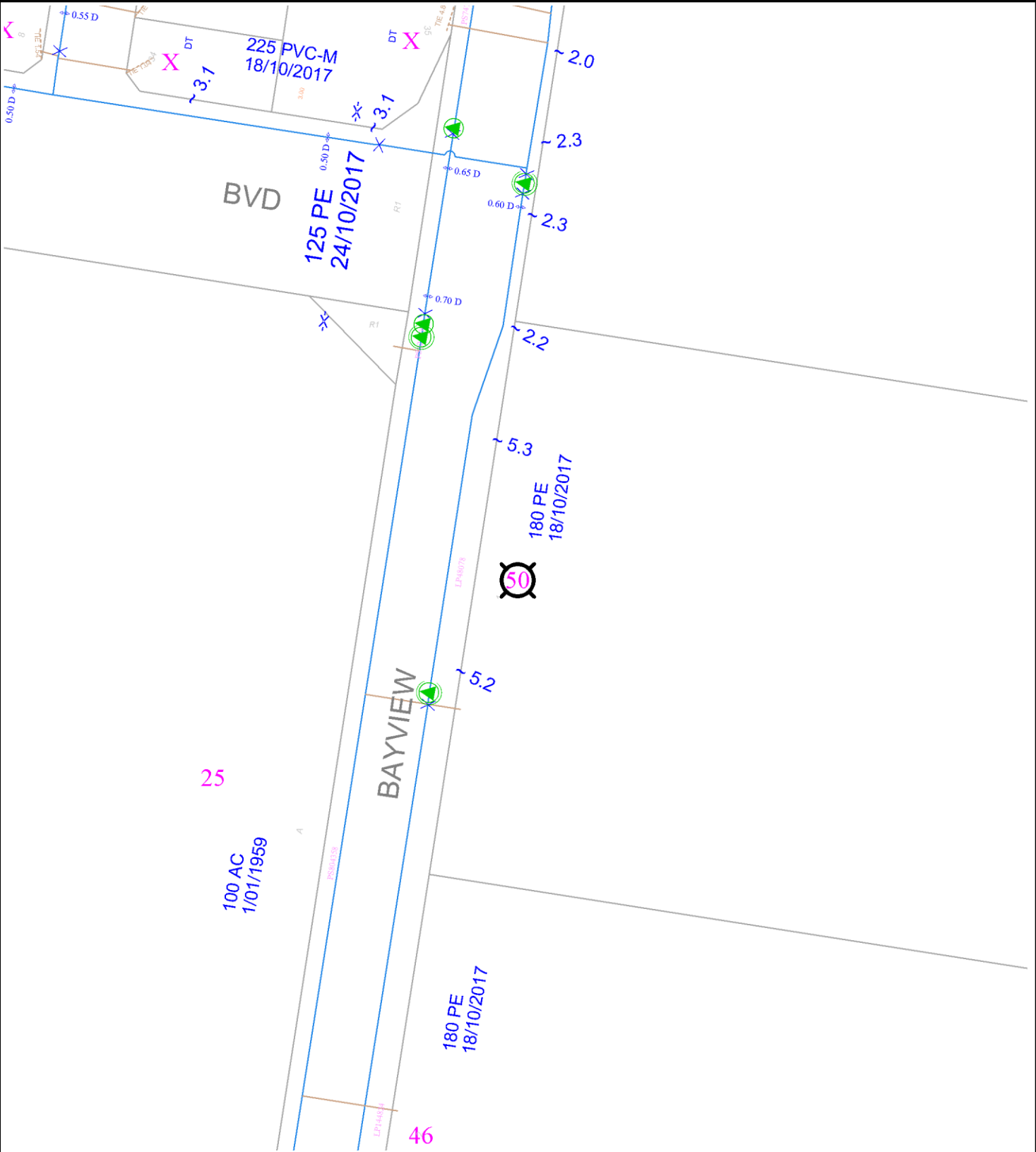


Property: Lot 1 50 BAYVIEW ROAD OFFICER 3809

Case Number: 33844059

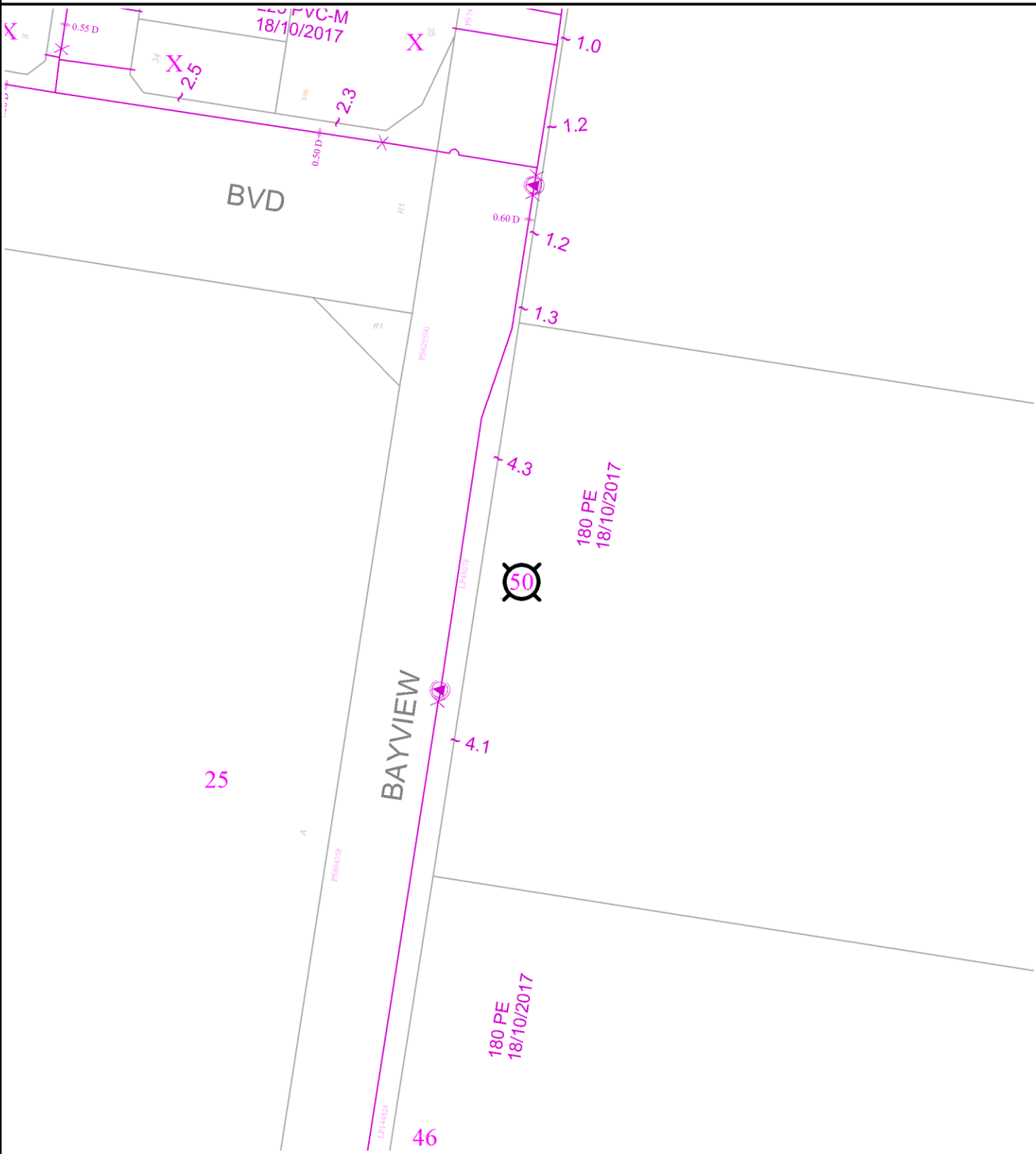
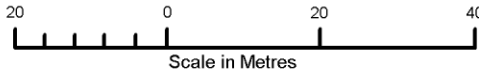


Date: 27MAY2019



WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange.

LEGEND	
	Title/Road Boundary
	Proposed Title/Road
	Easement
	Subject Property
	Water Main Valve
	Water Main
	Hydrant
	Fireplug/Washout
	Offset from Boundary



WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange.

LEGEND			
	Title/Road Boundary		Subject Property
	Proposed Title/Road		Hydrant
	Easement		Fireplug/Washout
	Recycled Water Main Valve		Offset from Boundary
	Recycled Water Main		

INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

You must contact us to see if there are any such charges as they may be charged to this property on sale and should therefore be adjusted with the owner of the parent title beforehand.

- If the property is sold, the vendor is liable to pay all fees incurred in relation to the property until the vendor gives South East Water a Notice of Disposition of Land required by the Water (Disposition of Land) Regulations 2010. Please include the Reference Number set out above in that Notice.
- Fees relating to the property may change from year-to-year in accordance with the Essential Service Commission's Price Determination for South East Water.
- Every fee referred to above is a charge against the property and will be recovered from a purchaser of the property if it is not paid by the vendor.
- Information about when and how outstanding fees may be paid, collected and recovered is set out in the Essential Services Commission's Customer Service Code, Urban Water Businesses.
- If this Statement only sets out rates and fees levied by Parks Victoria and Melbourne Water, the property may not be connected to South East Water's works. To find out whether the property is, or could be connected upon payment of the relevant charges, or whether it is separately metered, telephone 131 694.
- For a new connection to our water or sewer services, fees / charges will be levied.

2. Encumbrance Summary

Where available, the location of sewers is shown on the attached plan. Please ensure where manholes appear, that they remain accessible at all times "DO NOT COVER". Where driveways/paving is proposed to be constructed over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset, the owner will be responsible for all costs associated with any demolition and or re-instatement works, necessary to allow maintenance and or repair of the asset effected. Where changes to the surface levels requires maintenance shafts/holes to be altered, all works must be carried out by South East Water approved contractors only. For information call 131694. For all other works, prior consent is required from south East Water for any construction over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset.

Information available at Melbourne Water indicates that this property is not subject to flooding from Melbourne Water's drainage system, based on a flood level that has a probability of occurrence of 1% in any one year.

ENCUMBRANCE ENQUIRY EMAIL infostatements@sew.com.au

If no plan is attached to this Statement, South East Water is not aware of any works belonging to South East Water being present on the property.

If a plan is attached to this Statement, it indicates the nature of works belonging to South East Water, their approximate location, and the approximate location of any easement relating to those works.

Important Warnings

The map base for any attached plan is not created by South East Water which cannot and does not guarantee the accuracy, adequacy or completeness of any information in the plan, especially the exact location of any of South East Water's works, which may have changes since the attached plan was prepared. Their location should therefore be proven by hand before any works are commenced on the land.

AUTHORISED OFFICER:



TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198

INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

Unless South East Water's prior written approval is obtained, it is an offence to cause any structure to be built or any filling to be placed on a South East Water easement or within 1 metre laterally of any of its works or to permit any structure to be built above or below any such area.

Any work that requires any South East Water manhole or maintenance shaft to be altered may only be done by a contractor approved by South East Water at the property owner's cost.

If the owner builds or places filling in contravention of that requirement, the owner will be required to pay the cost of any demolition or re-instatement of work that South East Water considers necessary, in order to maintain, repair or replace its asset.

This Statement does not include any information about current or outstanding consent issued for plumbing works on at the property.

3. Disclaimer

This Statement does not contain all the information about the property that a prospective purchaser may wish to know. Accordingly, appropriate enquiries should be made of other sources and information.

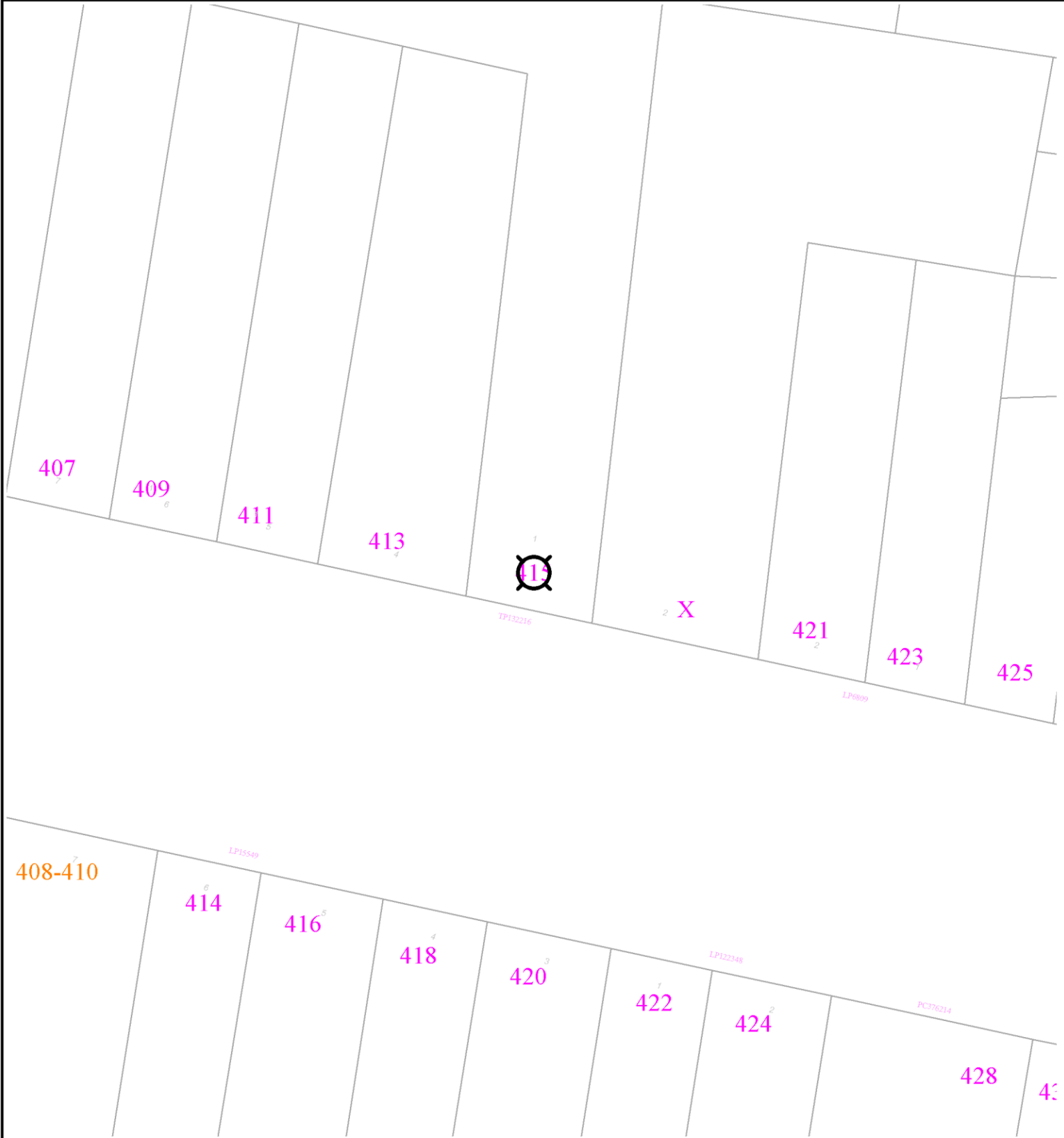
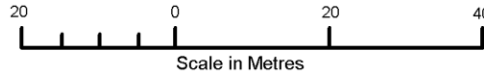
South East Water has prepared the information in this Statement with due care and diligence. It cannot and does not accept liability for any loss or damage arising from reliance on the information given, beyond the extent set out in section 155 of the Water Act 1989 and sections 18 and 29 of the Australian Consumer Law.

AUTHORISED OFFICER:



TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198



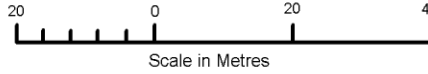
WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange.

	Title/Road Boundary		Subject Property		Maintenance Hole
	Proposed Title/Road		Sewer Main		Inspection Shaft
	Easement		Direction of Flow		Offset from Boundary
Melbourne Water Assets					
	Sewer Main		Underground Drain		Natural Waterway
	Maintenance Hole		Channel Drain		Underground Drain M.H.

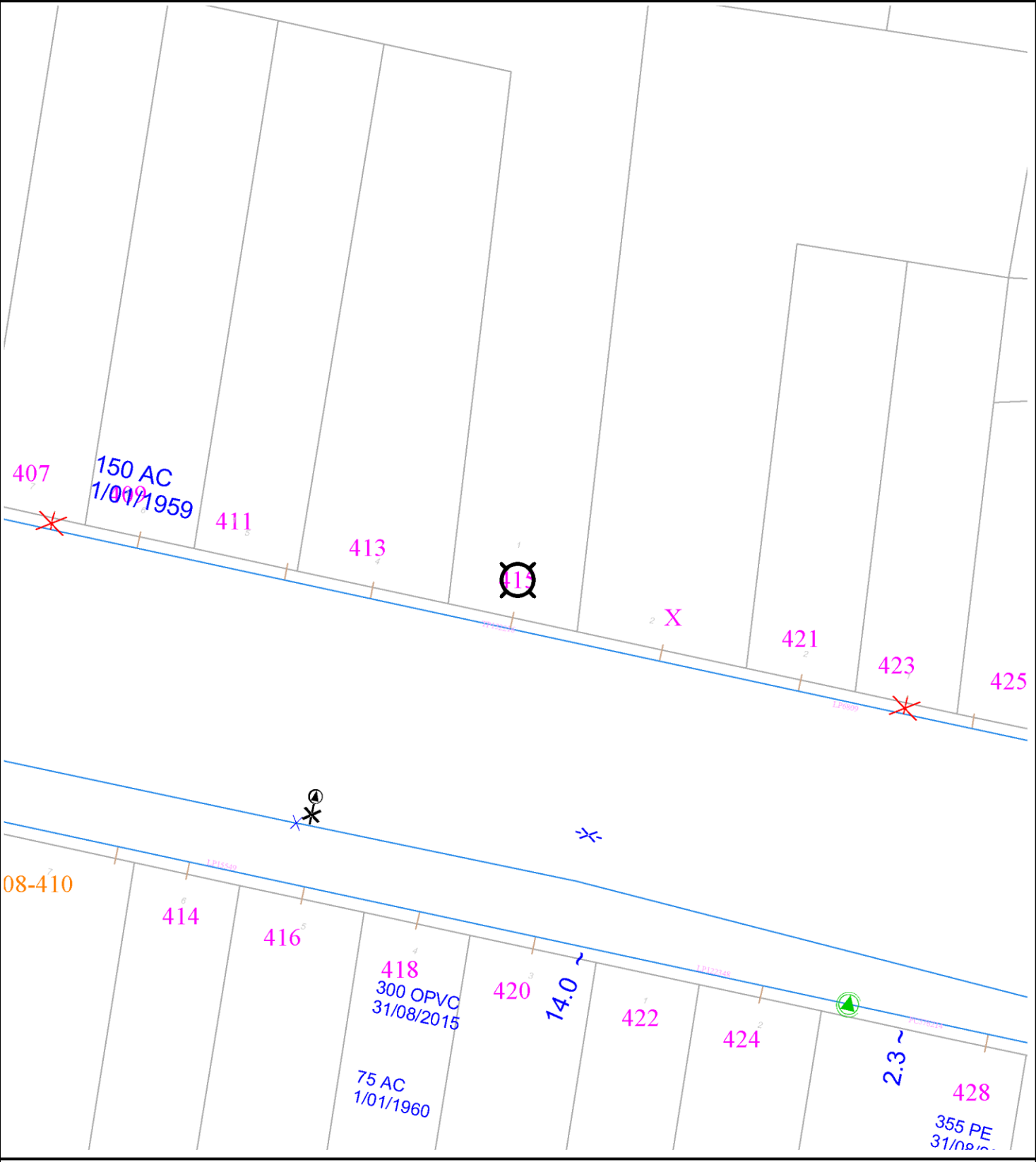


Property: Lot 1 415 PRINCES HIGHWAY OFFICER 3809

Case Number: 33843730



Date: 27MAY2019



WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange.

LEGEND	
	Title/Road Boundary
	Proposed Title/Road
	Easement
	Subject Property
	Water Main Valve
	Water Main
	Hydrant
	Fireplug/Washout
	Offset from Boundary

INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

Corrs Chambers Westgarth C/-
InfoTrack
E-mail: certificates@landata.vic.gov.au

Statement for property:
LOT 2 46 BAYVIEW ROAD OFFICER
3809
2 LP 144824

REFERENCE NO.	YOUR REFERENCE	DATE OF ISSUE	CASE NUMBER
62A/19226/21	LANDATA CER 31715270-025-3	27 MAY 2019	33843759

1. Statement of Fees Imposed

(a) By Other Authorities

Melbourne Water Corporation Total Service Charges	01/04/2019 to 30/06/2019	\$34.00
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(b) By South East Water

Water Service Charge	01/04/2019 to 30/06/2019	\$29.16
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Subtotal Service Charges		<u>\$63.16</u>
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TOTAL UNPAID BALANCE		\$63.16
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- The meter at the property was last read on 13/03/2019. Fees accrued since that date may be estimated by reference to the following historical information about the property:
 - Financial Updates (free service) are only available online please go to (type / copy the complete address shown below): <https://secureapp.southeastwater.com.au/PropertyConnect/#/order/info/update>
- * Please Note: if usage charges appear above, the amount shown includes one or more of the following:
Water Usage, Recycled Water Usage, Sewage Disposal, Fire Service Usage and Trade Waste Volumetric Fees.
Interest may accrue on the South East Water charges listed in this statement if they are not paid by the due date as set out in the bill.
- The total annual service fees and volumetric fees for water usage and sewerage disposal for each class of property are set out at www.southeastwater.com.au.
 - Updates of rates and other charges will only be provided for up to six months from the date of this statement.
 - If this property has recently been subdivided from a "parent" title, there may be service or other charges owing on the "parent" which will be charged to this property, once sold, that do not appear on this statement. You must contact us to see if there are any such charges as they may be charged to this property on sale and should therefore be adjusted with the owner of the parent title beforehand.

AUTHORISED OFFICER:



TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198

INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

- If the property is sold, the vendor is liable to pay all fees incurred in relation to the property until the vendor gives South East Water a Notice of Disposition of Land required by the Water (Disposition of Land) Regulations 2010. Please include the Reference Number set out above in that Notice.
- Fees relating to the property may change from year-to-year in accordance with the Essential Service Commission's Price Determination for South East Water.
- Every fee referred to above is a charge against the property and will be recovered from a purchaser of the property if it is not paid by the vendor.
- Information about when and how outstanding fees may be paid, collected and recovered is set out in the Essential Services Commission's Customer Service Code, Urban Water Businesses.
- If this Statement only sets out rates and fees levied by Parks Victoria and Melbourne Water, the property may not be connected to South East Water's works. To find out whether the property is, or could be connected upon payment of the relevant charges, or whether it is separately metered, telephone 131 694.
- For a new connection to our water or sewer services, fees / charges will be levied.

2. Encumbrance Summary

Where available, the location of sewers is shown on the attached plan. Please ensure where manholes appear, that they remain accessible at all times "DO NOT COVER". Where driveways/paving is proposed to be constructed over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset, the owner will be responsible for all costs associated with any demolition and or re-instatement works, necessary to allow maintenance and or repair of the asset effected. Where changes to the surface levels requires maintenance shafts/holes to be altered, all works must be carried out by South East Water approved contractors only. For information call 131694. For all other works, prior consent is required from south East Water for any construction over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset.

Information available at Melbourne Water indicates that this property is not subject to flooding from Melbourne Water's drainage system, based on a flood level that has a probability of occurrence of 1% in any one year.

ENCUMBRANCE ENQUIRY EMAIL infostatements@sew.com.au

If no plan is attached to this Statement, South East Water is not aware of any works belonging to South East Water being present on the property.

If a plan is attached to this Statement, it indicates the nature of works belonging to South East Water, their approximate location, and the approximate location of any easement relating to those works.

Important Warnings

The map base for any attached plan is not created by South East Water which cannot and does not guarantee the accuracy, adequacy or completeness of any information in the plan, especially the exact location of any of South East Water's works, which may have changes since the attached plan was prepared. Their location should therefore be proven by hand before any works are commenced on the land.

Unless South East Water's prior written approval is obtained, it is an offence to cause any structure to be built or any filling to be placed on a South East Water easement or within 1 metre laterally of any of its works or to permit any structure to be built above or below any such area.

AUTHORISED OFFICER:



TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198

INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

Any work that requires any South East Water manhole or maintenance shaft to be altered may only be done by a contractor approved by South East Water at the property owner's cost.

If the owner builds or places filling in contravention of that requirement, the owner will be required to pay the cost of any demolition or re-instatement of work that South East Water considers necessary, in order to maintain, repair or replace its asset.

This Statement does not include any information about current or outstanding consent issued for plumbing works on at the property.

3. Disclaimer

This Statement does not contain all the information about the property that a prospective purchaser may wish to know. Accordingly, appropriate enquiries should be made of other sources and information.

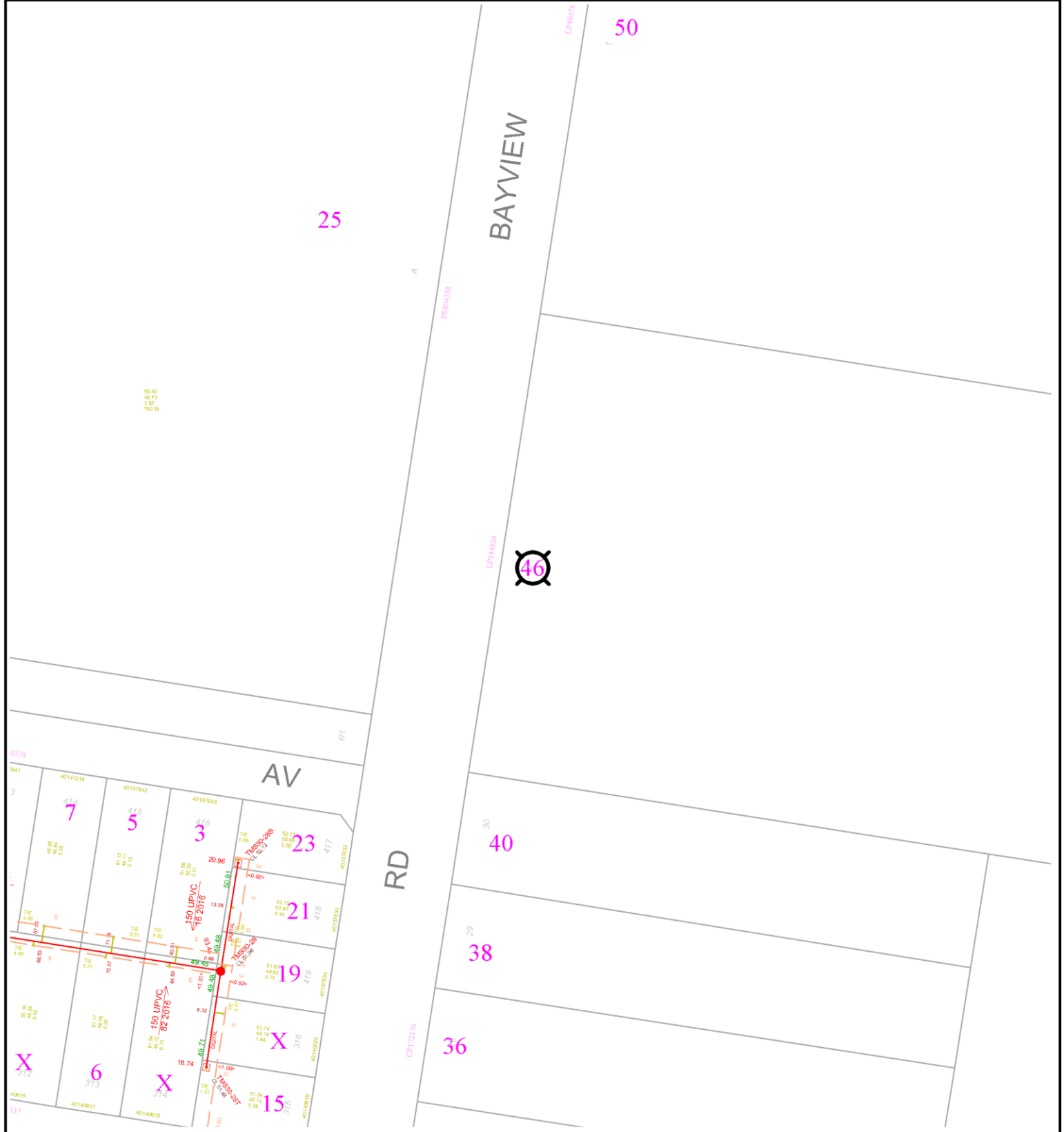
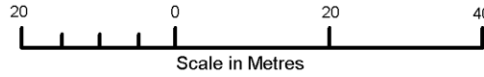
South East Water has prepared the information in this Statement with due care and diligence. It cannot and does not accept liability for any loss or damage arising from reliance on the information given, beyond the extent set out in section 155 of the Water Act 1989 and sections 18 and 29 of the Australian Consumer Law.

AUTHORISED OFFICER:



TERRY SCHUBACH
GENERAL MANAGER
CUSTOMER SERVICE DELIVERY

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198



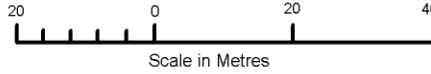
WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange.

	Title/Road Boundary		Subject Property		Maintenance Hole
	Proposed Title/Road		Sewer Main		Inspection Shaft
	Easement		Direction of Flow		Offset from Boundary
Melbourne Water Assets					
	Sewer Main		Underground Drain		Natural Waterway
	Maintenance Hole		Channel Drain		Underground Drain M.H.

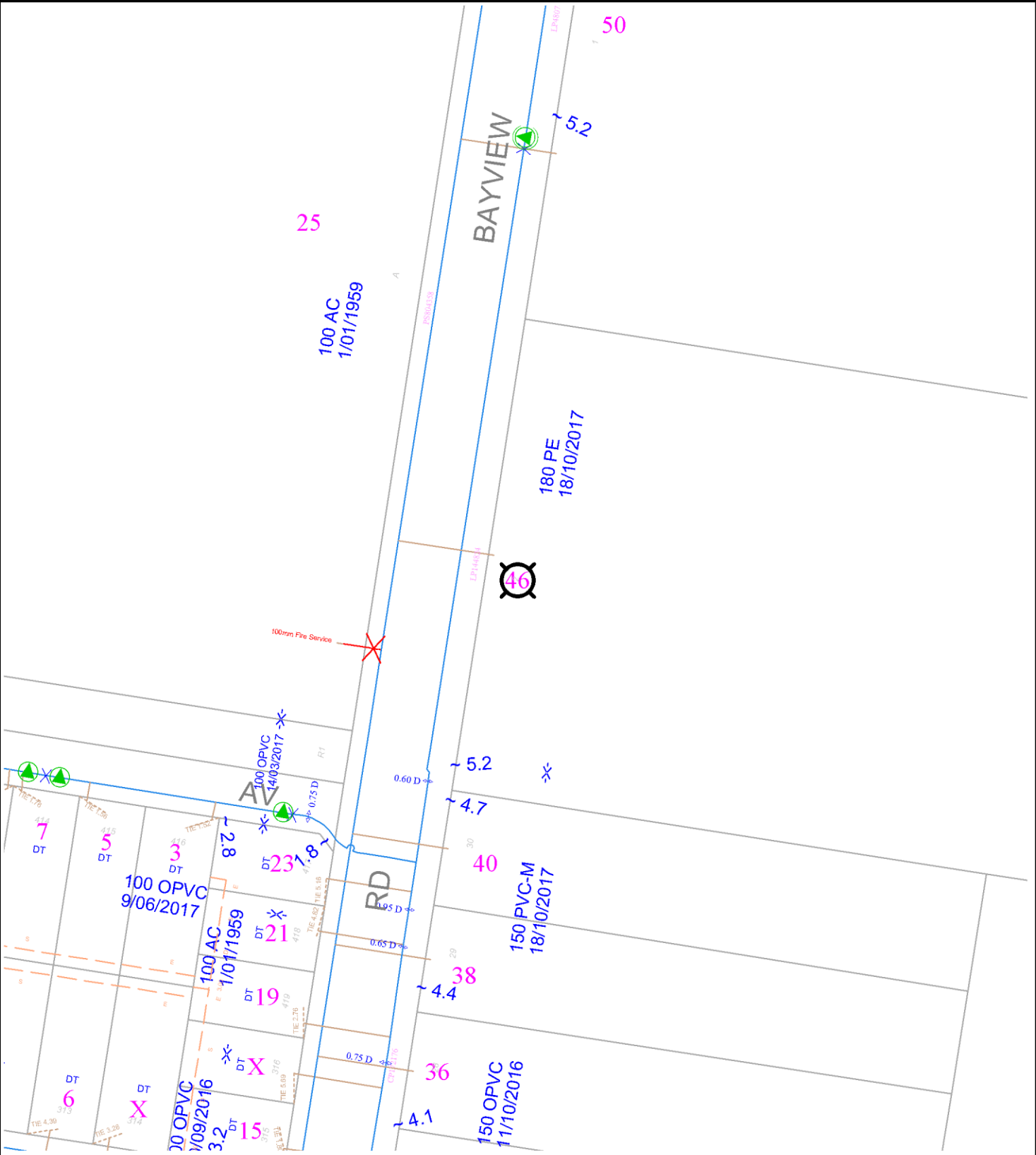


Property: Lot 2 46 BAYVIEW ROAD OFFICER 3809

Case Number: 33843759

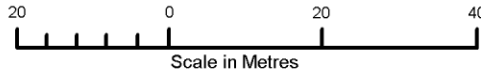


Date: 27MAY2019



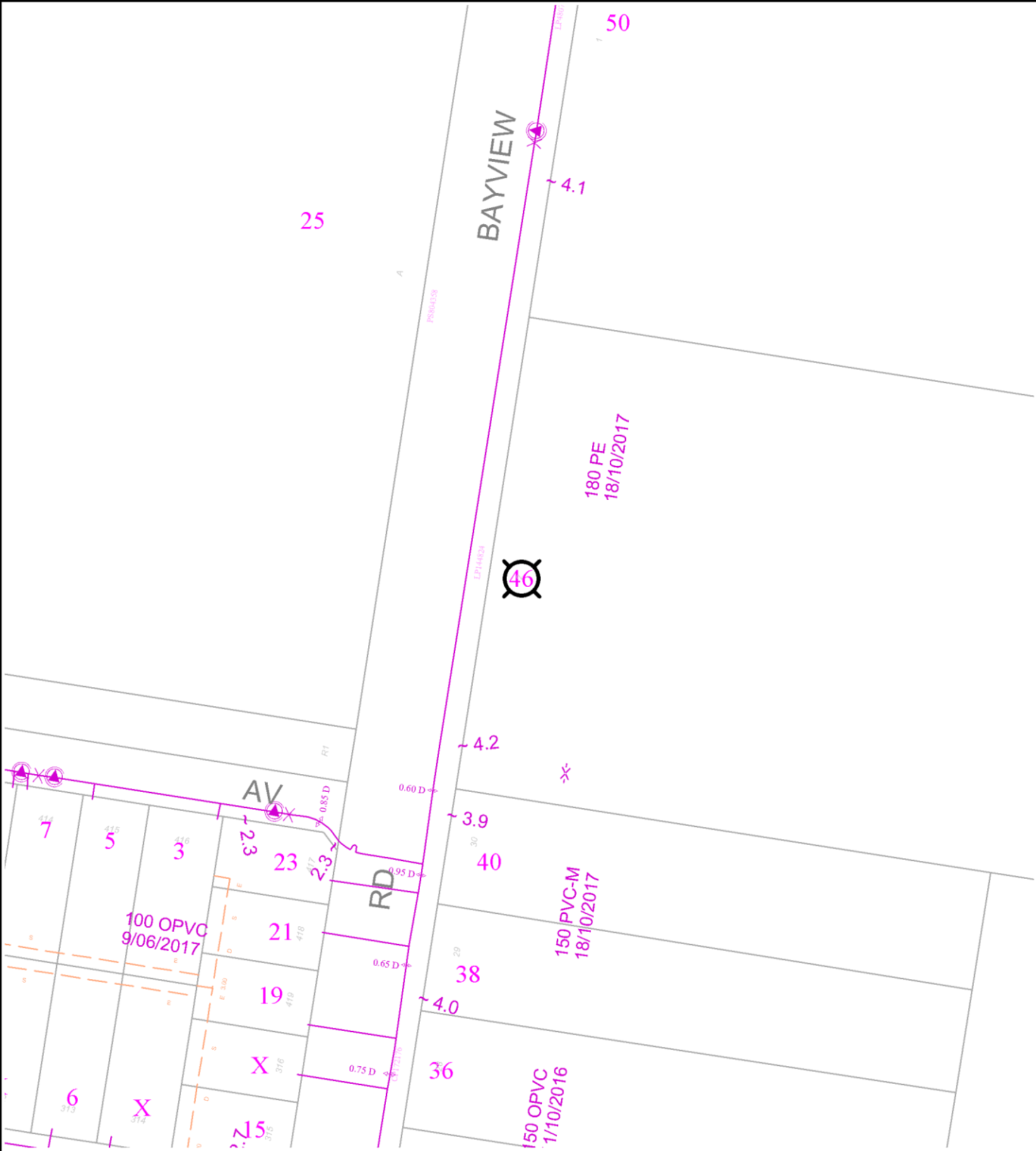
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LEGEND	
	Title/Road Boundary
	Proposed Title/Road
	Easement
	Subject Property
	Water Main Valve
	Water Main
	Hydrant
	Fireplug/Washout
	Offset from Boundary



Case Number: 33843759

Date: 27MAY2019



WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange.

LEGEND			
	Title/Road Boundary		Subject Property
	Proposed Title/Road		Recycled Water Main Valve
	Easement		Recycled Water Main
	Hydrant		Fireplug/Washout
	Offset from Boundary		

LAND INFORMATION CERTIFICATE
SECTION 229 LOCAL GOVERNMENT ACT 1989
LAND INFORMATION CERTIFICATE
REGULATIONS 1992



Corrs Chambers Westgarth c/InfoTrack c/Landata
DX 250639
Melbourne

CERTIFICATE NO: 55773
APPLICANT REFERENCE: 31715216-013-2
DATE: 28/05/2019

This certificate PROVIDES information regarding valuations, rates, charges, other moneys owing and any orders and notices made under the Local Government Act 1958, Local Government Act 1989 or under a local law or by law of the Council.

This certificate IS NOT REQUIRED to include information regarding planning, building, health, land fill, land slip, other flooding information or service easements. Information regarding these matters may be available from Council or the relevant Authority. A fee may be charged for such information.

ASSESSMENT NO:	1074750200	VALUATIONS	
PROPERTY LOCATION:	50 Bayview Rd	SITE VALUE:	4895000
	Officer 3809	CAPITAL IMPROVED VALUE:	4895000
TITLE DETAILS:	L1 P48078	NET ANNUAL VALUE:	244750
		LEVEL OF VALUE DATE:	01/01/18
		OPERATIVE DATE:	01/07/18

PROPERTY RATES & CHARGES

Rates and charges for the financial year ending 30 June 2019

<u>RATES & CHARGES</u>	<u>LEVIED</u>	<u>BALANCE</u>
ARREARS BROUGHT FORWARD		\$0.00
RATES	\$14,161.24	\$0.00
INTEREST	\$0.00	\$0.00
MUNICIPAL CHARGE	\$0.00	\$0.00
FIRE SERVICES PROPERTY LEVY	\$392.91	\$0.00
GARBAGE	\$283.70	\$0.00
GREEN WASTE LEVY	\$0.00	\$0.00

SPECIAL RATES /SPECIAL CHARGES

SCHEME NAME	ESTIMATED AMOUNT	PRINCIPAL BALANCE	INTEREST BALANCE
		TOTAL SCHEME BALANCE	\$0.00

OPEN SPACE CONTRIBUTION

TOTAL OUTSTANDING (\$9.80)



Bill code 858944
Reference: 10747502002

Please note that a Community Infrastructure Levy for a dwelling must be paid to Council prior to the issue of a building permit.

**LAND INFORMATION CERTIFICATE
SECTION 229 LOCAL GOVERNMENT ACT 1989
LAND INFORMATION CERTIFICATE
REGULATIONS 1992**

50 Bayview Rd
Officer
L1 P48078

NOTICES AND ORDERS

Other Notices or Orders on the land that have been served by Council under the Local Government Act 1958, Local Government Act 1989 or Local Law of the Council, which have a continuing application as at the date of this certificate if any

OPEN SPACE CONTRIBUTION

Any outstanding amount required to be paid for recreational purposes or any transfer of land required to Council for recreational purposes under Section 18 of the Subdivision of Land Act 1988 or the Local Government Act 1958:

FLOOD LEVEL

A flood level has not been designated under the Building Regulations 1994.
Advice on whether a flood level has been determined, which affects the property, should be sought from Melbourne Water.

POTENTIAL LIABILITIES

Notices and Orders issued as described above:

Other:

ADDITIONAL INFORMATION

In accordance with Section 175 of the Local Government Act a person who becomes the owner of rateable land must pay any rate or charge on the land which is due and payable at the time the person becomes the owner of the land.

I acknowledge having received the sum of \$26.30 being the fee for this certificate.

Delegated Officer: 

**CONFIRMATION OF ANY VARIATION TO THIS CERTIFICATE WILL ONLY BE GIVEN FOR 90 DAYS AFTER ISSUE DATE.
PAYMENTS MADE BY CHEQUE ARE SUBJECT TO CLEARANCE FROM THE BANK.**

LAND INFORMATION CERTIFICATE
SECTION 229 LOCAL GOVERNMENT ACT 1989
LAND INFORMATION CERTIFICATE
REGULATIONS 1992



Corrs Chambers Westgarth c/InfoTrack c/Landata
DX 250639
Melbourne

CERTIFICATE NO: 55774
APPLICANT REFERENCE: 31715298-013-6
DATE: 28/05/2019

This certificate PROVIDES information regarding valuations, rates, charges, other moneys owing and any orders and notices made under the Local Government Act 1958, Local Government Act 1989 or under a local law or by law of the Council.

This certificate IS NOT REQUIRED to include information regarding planning, building, health, land fill, land slip, other flooding information or service easements. Information regarding these matters may be available from Council or the relevant Authority. A fee may be charged for such information.

ASSESSMENT NO: 1701102300	VALUATIONS	
PROPERTY LOCATION: 415 Princes Hwy	SITE VALUE:	9620000
Officer 3809	CAPITAL IMPROVED VALUE:	9620000
TITLE DETAILS: L1 TP132216	NET ANNUAL VALUE:	481000
	LEVEL OF VALUE DATE:	01/01/18
	OPERATIVE DATE:	01/07/18

PROPERTY RATES & CHARGES

Rates and charges for the financial year ending 30 June 2019

<u>RATES & CHARGES</u>	<u>LEVIED</u>	<u>BALANCE</u>
ARREARS BROUGHT FORWARD		\$0.00
RATES	\$38,075.96	\$0.00
INTEREST	\$0.00	\$0.00
MUNICIPAL CHARGE	\$0.00	\$0.00
FIRE SERVICES PROPERTY LEVY	\$666.96	\$0.00
GARBAGE	\$312.07	\$0.00
GREEN WASTE LEVY	\$0.00	\$0.00

SPECIAL RATES /SPECIAL CHARGES

<u>SCHEME NAME</u>	<u>ESTIMATED AMOUNT</u>	<u>PRINCIPAL BALANCE</u>	<u>INTEREST BALANCE</u>
		TOTAL SCHEME BALANCE	\$0.00

OPEN SPACE CONTRIBUTION

TOTAL OUTSTANDING (\$19.24)



Billers code 858944
Reference: 17011023003

Please note that a Community Infrastructure Levy for a dwelling must be paid to Council prior to the issue of a building permit.

**LAND INFORMATION CERTIFICATE
SECTION 229 LOCAL GOVERNMENT ACT 1989
LAND INFORMATION CERTIFICATE
REGULATIONS 1992**

415 Princes Hwy
Officer
L1 TP132216

NOTICES AND ORDERS

Other Notices or Orders on the land that have been served by Council under the Local Government Act 1958, Local Government Act 1989 or Local Law of the Council, which have a continuing application as at the date of this certificate if any

OPEN SPACE CONTRIBUTION

Any outstanding amount required to be paid for recreational purposes or any transfer of land required to Council for recreational purposes under Section 18 of the Subdivision of Land Act 1988 or the Local Government Act 1958:

FLOOD LEVEL

A flood level has not been designated under the Building Regulations 1994.
Advice on whether a flood level has been determined, which affects the property, should be sought from Melbourne Water.

POTENTIAL LIABILITIES


Notices and Orders issued as described above:

Other:

ADDITIONAL INFORMATION

In accordance with Section 175 of the Local Government Act a person who becomes the owner of rateable land must pay any rate or charge on the land which is due and payable at the time the person becomes the owner of the land.

I acknowledge having received the sum of \$26.30 being the fee for this certificate.

Delegated Officer: 

**CONFIRMATION OF ANY VARIATION TO THIS CERTIFICATE WILL ONLY BE GIVEN FOR 90 DAYS AFTER ISSUE DATE.
PAYMENTS MADE BY CHEQUE ARE SUBJECT TO CLEARANCE FROM THE BANK.**

LAND INFORMATION CERTIFICATE
SECTION 229 LOCAL GOVERNMENT ACT 1989
LAND INFORMATION CERTIFICATE
REGULATIONS 1992



Corrs Chambers Westgarth c/InfoTrack c/Landata
DX 250639
Melbourne

CERTIFICATE NO: 55775
APPLICANT REFERENCE: 31715270-013-0
DATE: 28/05/2019

This certificate PROVIDES information regarding valuations, rates, charges, other moneys owing and any orders and notices made under the Local Government Act 1958, Local Government Act 1989 or under a local law or by law of the Council.

This certificate IS NOT REQUIRED to include information regarding planning, building, health, land fill, land slip, other flooding information or service easements. Information regarding these matters may be available from Council or the relevant Authority. A fee may be charged for such information.

ASSESSMENT NO:	1074750100	VALUATIONS	
PROPERTY LOCATION:	46 Bayview Rd	SITE VALUE:	3565000
	Officer 3809	CAPITAL IMPROVED VALUE:	3565000
TITLE DETAILS:	L2 P144824	NET ANNUAL VALUE:	178250
		LEVEL OF VALUE DATE:	01/01/18
		OPERATIVE DATE:	01/07/18

PROPERTY RATES & CHARGES

Rates and charges for the financial year ending 30 June 2019

<u>RATES & CHARGES</u>	<u>LEVIED</u>	<u>BALANCE</u>
ARREARS BROUGHT FORWARD		\$0.00
RATES	\$10,313.55	\$0.00
INTEREST	\$0.00	\$0.00
MUNICIPAL CHARGE	\$0.00	\$0.00
FIRE SERVICES PROPERTY LEVY	\$315.77	\$0.00
GARBAGE	\$283.70	\$0.00
GREEN WASTE LEVY	\$0.00	\$0.00

SPECIAL RATES /SPECIAL CHARGES

SCHEME NAME	ESTIMATED AMOUNT	PRINCIPAL BALANCE	INTEREST BALANCE
		TOTAL SCHEME BALANCE	\$0.00

OPEN SPACE CONTRIBUTION

TOTAL OUTSTANDING (\$7.14)



Billers code 858944
Reference: 10747501004

Please note that a Community Infrastructure Levy for a dwelling must be paid to Council prior to the issue of a building permit.

**LAND INFORMATION CERTIFICATE
SECTION 229 LOCAL GOVERNMENT ACT 1989
LAND INFORMATION CERTIFICATE
REGULATIONS 1992**

46 Bayview Rd
Officer
L2 P144824

NOTICES AND ORDERS

Other Notices or Orders on the land that have been served by Council under the Local Government Act 1958, Local Government Act 1989 or Local Law of the Council, which have a continuing application as at the date of this certificate if any

OPEN SPACE CONTRIBUTION

Any outstanding amount required to be paid for recreational purposes or any transfer of land required to Council for recreational purposes under Section 18 of the Subdivision of Land Act 1988 or the Local Government Act 1958:

FLOOD LEVEL

A flood level has not been designated under the Building Regulations 1994.
Advice on whether a flood level has been determined, which affects the property, should be sought from Melbourne Water.

POTENTIAL LIABILITIES

Notices and Orders issued as described above:

Other:

ADDITIONAL INFORMATION

In accordance with Section 175 of the Local Government Act a person who becomes the owner of rateable land must pay any rate or charge on the land which is due and payable at the time the person becomes the owner of the land.

I acknowledge having received the sum of \$26.30 being the fee for this certificate.

Delegated Officer:



**CONFIRMATION OF ANY VARIATION TO THIS CERTIFICATE WILL ONLY BE GIVEN FOR 90 DAYS AFTER ISSUE DATE.
PAYMENTS MADE BY CHEQUE ARE SUBJECT TO CLEARANCE FROM THE BANK.**

PLANNING CERTIFICATE

Official certificate issued under Section 199 Planning & Environment Act 1987
and the Planning and Environment Regulations 2005

CERTIFICATE REFERENCE NUMBER

586863

APPLICANT'S NAME & ADDRESS

CORRS CHAMBERS WESTGARTH C/- INFOTRACK C/-
LANDATA

MELBOURNE

VENDOR

AVID PROPERTY GROUP NOMINEES
PTY LTD

PURCHASER

N/A, N/A

REFERENCE

330

This certificate is issued for:

LOT 1 PLAN LP48078 ALSO KNOWN AS 50 BAYVIEW ROAD OFFICER
CARDINIA SHIRE

The land is covered by the:

CARDINIA PLANNING SCHEME

The Minister for Planning is the responsible authority issuing the Certificate.

The land:

- is included in a URBAN GROWTH ZONE - SCHEDULE 3
- is within a DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 4
- and a LAND SUBJECT TO INUNDATION OVERLAY

A detailed definition of the applicable Planning Scheme is available at :
(<http://planningschemes.dpcd.vic.gov.au/schemes/cardinia>)

Historic buildings and land protected under the Heritage Act 1995 are recorded in the Victorian
Heritage Register at:

(<http://vhd.heritage.vic.gov.au/>)

Additional site-specific controls may apply.
The Planning Scheme Ordinance should be
checked carefully.

The above information includes all
amendments to planning scheme maps
placed on public exhibition up to the date
of issue of this certificate and which are
still the subject of active consideration

Copies of Planning Schemes and
Amendments can be inspected at the
relevant municipal offices.

LANDATA®
2 Lonsdale Street
Melbourne VIC 3000
Tel: (03) 9194 0606

27 May 2019

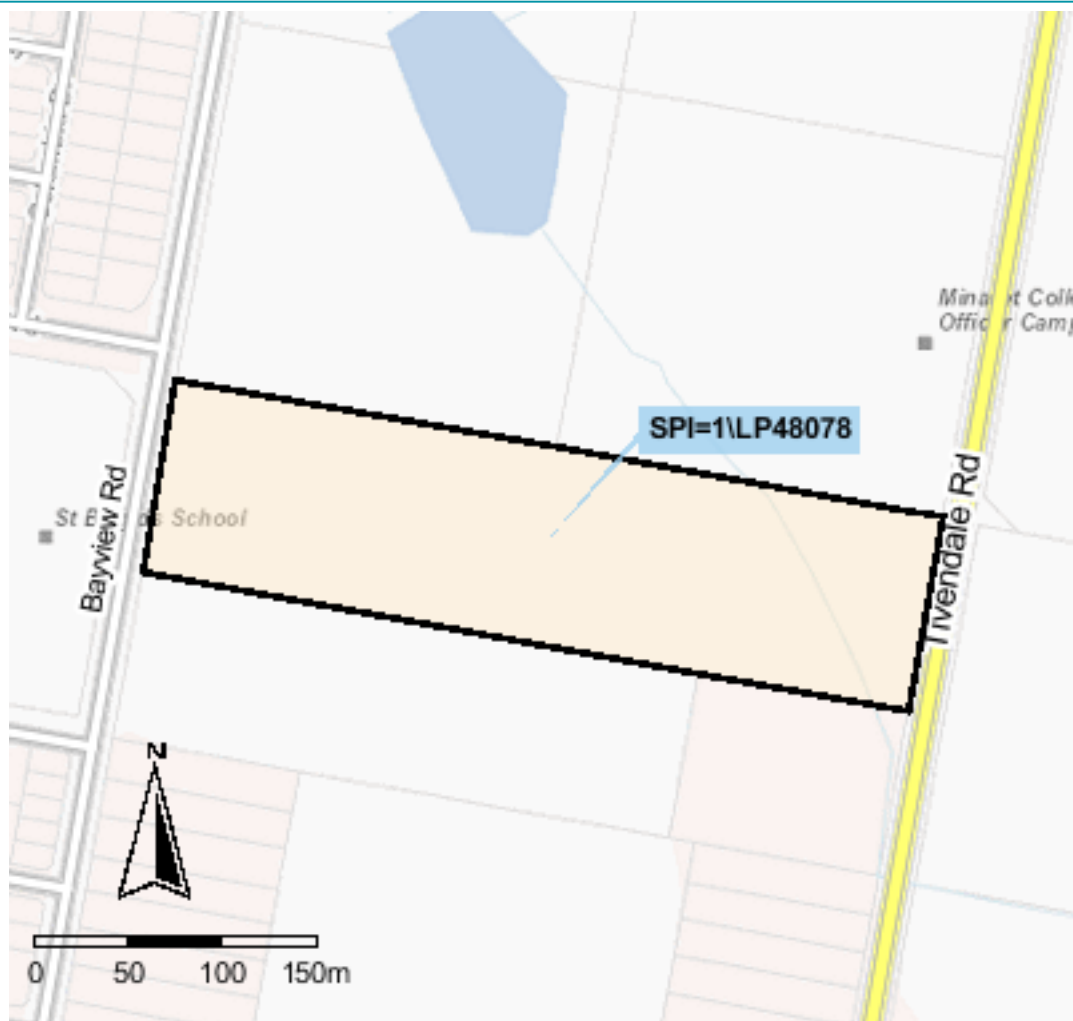
Hon. Richard Wynne MP
Minister for Planning

The attached certificate is issued by the Minister for Planning of the State of Victoria and is protected by statute.

The document has been issued based on the property information you provided. You should check the map below - it highlights the property identified from your information.

If this property is different to the one expected, you can phone (03) 9194 0606 or email landata.enquiries@delwp.vic.gov.au.

Please note: The map is for reference purposes only and does not form part of the certificate.



Copyright © State Government of Victoria. Service provided by maps.land.vic.gov.au

Choose the authoritative Planning Certificate

Why rely on anything less?

As part of your section 32 statement, the authoritative Planning Certificate provides you and / or your customer with the statutory protection of the State of Victoria.
Order online before 4pm to receive your authoritative Planning Certificate the same day, in most cases within the hour.
Next business day delivery, if further information is required from you.

Privacy Statement

The information obtained from the applicant and used to produce this certificate was collected solely for the purpose of producing this certificate. The personal information on the certificate has been provided by the applicant and has not been verified by LANDATA®. The property information on the certificate has been verified by LANDATA®. The zoning information on the certificate is protected by statute. The information on the certificate will be retained by LANDATA® for auditing purposes and will not be released to any third party except as required by law.

PLANNING CERTIFICATE

Official certificate issued under Section 199 Planning & Environment Act 1987
and the Planning and Environment Regulations 2005

CERTIFICATE REFERENCE NUMBER

586868

APPLICANT'S NAME & ADDRESS

CORRS CHAMBERS WESTGARTH C/- INFOTRACK C/-
LANDATA
MELBOURNE

VENDOR

AVID PROPERTY GROUP NOMINEES
PTY LTD

PURCHASER

N/A, N/A

REFERENCE

330

This certificate is issued for:

LOT 1 PLAN TP132216 ALSO KNOWN AS 415 PRINCES HIGHWAY OFFICER
CARDINIA SHIRE

The land is covered by the:

CARDINIA PLANNING SCHEME

The Minister for Planning is the responsible authority issuing the Certificate.

The land:

- is included in a URBAN GROWTH ZONE - SCHEDULE 4
- and a URBAN GROWTH ZONE - SCHEDULE 3
- is within a DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 4
- and abuts a ROAD ZONE CATEGORY 1

A Proposed Amending Planning Scheme C232 has been placed on public exhibition which shows this property :

- is within a PARKING OVERLAY - PRECINCT 1 - C232

A detailed definition of the applicable Planning Scheme is available at :

<http://planningschemes.dpcd.vic.gov.au/schemes/cardinia>

Historic buildings and land protected under the Heritage Act 1995 are recorded in the Victorian Heritage Register at:

<http://vhd.heritage.vic.gov.au/>

27 May 2019

Hon. Richard Wynne MP
Minister for Planning

Additional site-specific controls may apply.
The Planning Scheme Ordinance should be checked carefully.

The above information includes all amendments to planning scheme maps placed on public exhibition up to the date of issue of this certificate and which are still the subject of active consideration

Copies of Planning Schemes and Amendments can be inspected at the relevant municipal offices.

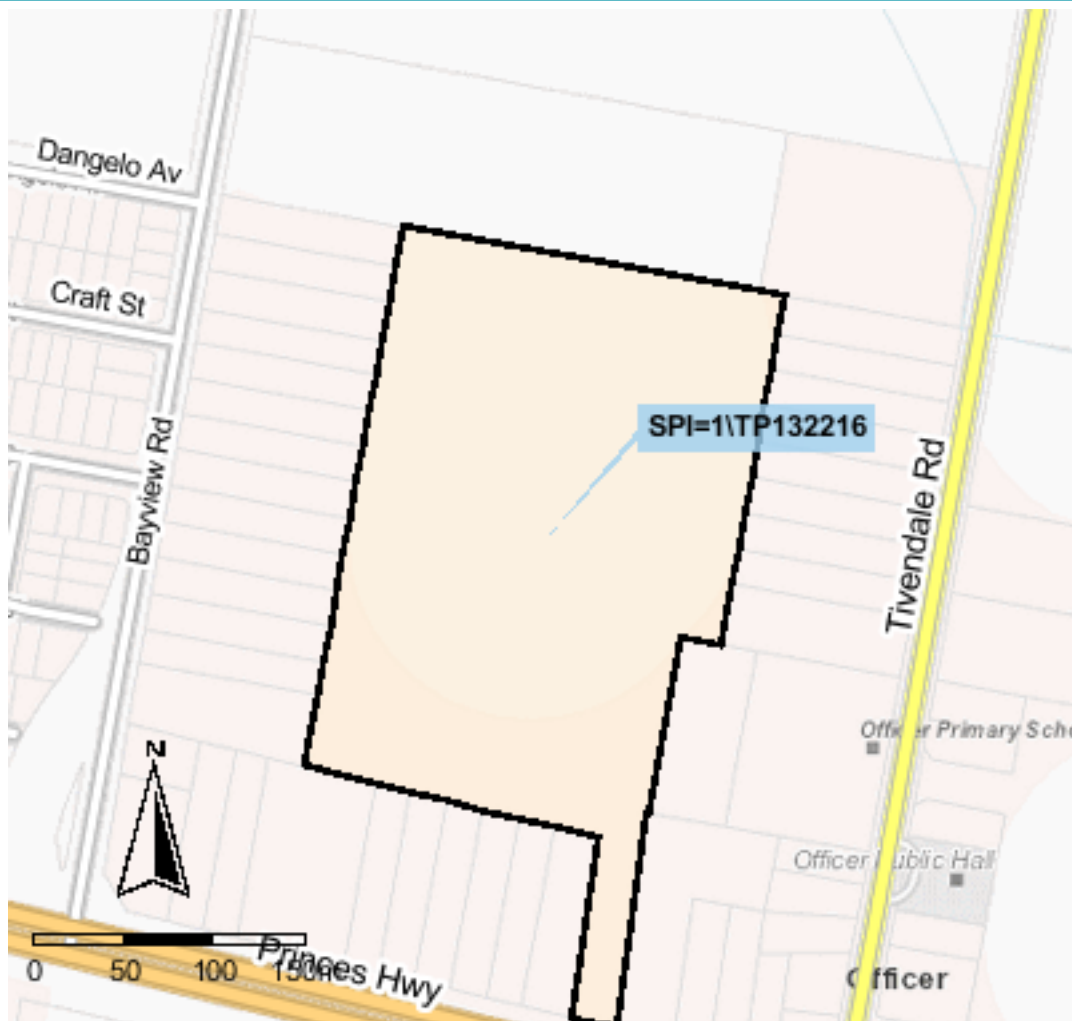
LANDATA®
2 Lonsdale Street
Melbourne VIC 3000
Tel: (03) 9194 0606

The attached certificate is issued by the Minister for Planning of the State of Victoria and is protected by statute.

The document has been issued based on the property information you provided. You should check the map below - it highlights the property identified from your information.

If this property is different to the one expected, you can phone (03) 9194 0606 or email landata.enquiries@delwp.vic.gov.au.

Please note: The map is for reference purposes only and does not form part of the certificate.



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Choose the authoritative Planning Certificate

Why rely on anything less?

As part of your section 32 statement, the authoritative Planning Certificate provides you and / or your customer with the statutory protection of the State of Victoria.

Order online before 4pm to receive your authoritative Planning Certificate the same day, in most cases within the hour. Next business day delivery, if further information is required from you.

Privacy Statement

The information obtained from the applicant and used to produce this certificate was collected solely for the purpose of producing this certificate. The personal information on the certificate has been provided by the applicant and has not been verified by LANDATA®. The property information on the certificate has been verified by LANDATA®. The zoning information on the certificate is protected by statute. The information on the certificate will be retained by LANDATA® for auditing purposes and will not be released to any third party except as required by law.

PLANNING CERTIFICATE

Official certificate issued under Section 199 Planning & Environment Act 1987
and the Planning and Environment Regulations 2005

CERTIFICATE REFERENCE NUMBER

586866

APPLICANT'S NAME & ADDRESS

CORRS CHAMBERS WESTGARTH C/- INFOTRACK C/-
LANDATA
MELBOURNE

VENDOR

AVID PROPERTY GROUP NOMINEES
PTY LTD

PURCHASER

N/A, N/A

REFERENCE

330

This certificate is issued for:

LOT 2 PLAN LP144824 ALSO KNOWN AS 46 BAYVIEW ROAD OFFICER
CARDINIA SHIRE

The land is covered by the:

CARDINIA PLANNING SCHEME

The Minister for Planning is the responsible authority issuing the Certificate.

The land:

- is included in a URBAN GROWTH ZONE - SCHEDULE 3
- is within a DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 4

A detailed definition of the applicable Planning Scheme is available at :
(<http://planningschemes.dpcd.vic.gov.au/schemes/cardinia>)

Historic buildings and land protected under the Heritage Act 1995 are recorded in the Victorian
Heritage Register at:

(<http://vhd.heritage.vic.gov.au/>)

Additional site-specific controls may apply.
The Planning Scheme Ordinance should be
checked carefully.

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amendments to planning scheme maps
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of issue of this certificate and which are
still the subject of active consideration

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Melbourne VIC 3000
Tel: (03) 9194 0606

27 May 2019

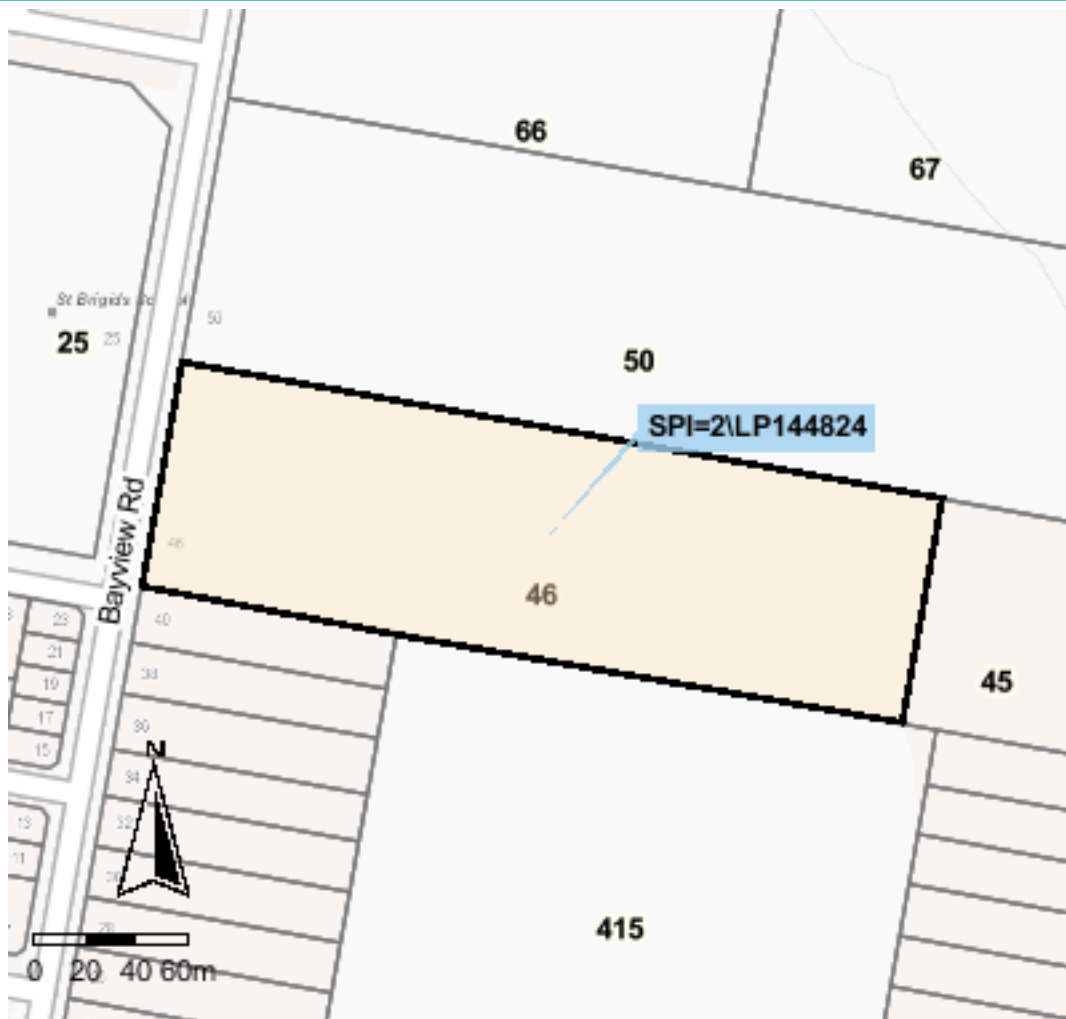
Hon. Richard Wynne MP
Minister for Planning

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From www.planning.vic.gov.au on 05 June 2019 12:58 PM

PROPERTY DETAILS

Address: **50 BAYVIEW ROAD OFFICER 3809**
Lot and Plan Number: **Lot 1 LP48078**
Standard Parcel Identifier (SPI): **1\LP48078**
Local Government Area (Council): **CARDINIA**
Council Property Number: **1074750200**
Planning Scheme: **Cardinia**
Directory Reference: **Melway 214 G2**

www.cardinia.vic.gov.au

planning-schemes.delwp.vic.gov.au/schemes/cardinia

UTILITIES

Rural Water Corporation: **Southern Rural Water**
Melbourne Water Retailer: **South East Water**
Melbourne Water: **inside drainage boundary**
Power Distributor: **AUSNET**

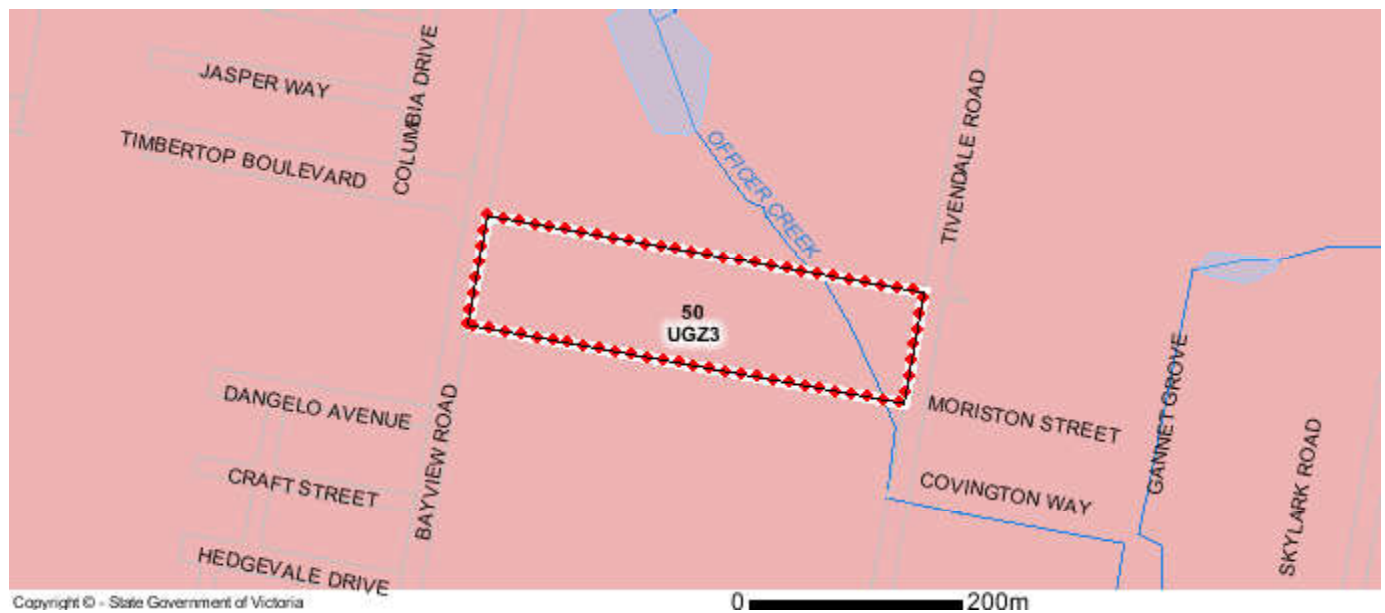
STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**
Legislative Assembly: **GEMBROOK**

Planning Zones


[URBAN GROWTH ZONE \(UGZ\)](#)

[URBAN GROWTH ZONE - SCHEDULE 3 \(UGZ3\)](#)



Copyright © - State Government of Victoria

0 200m

 UGZ - Urban Growth

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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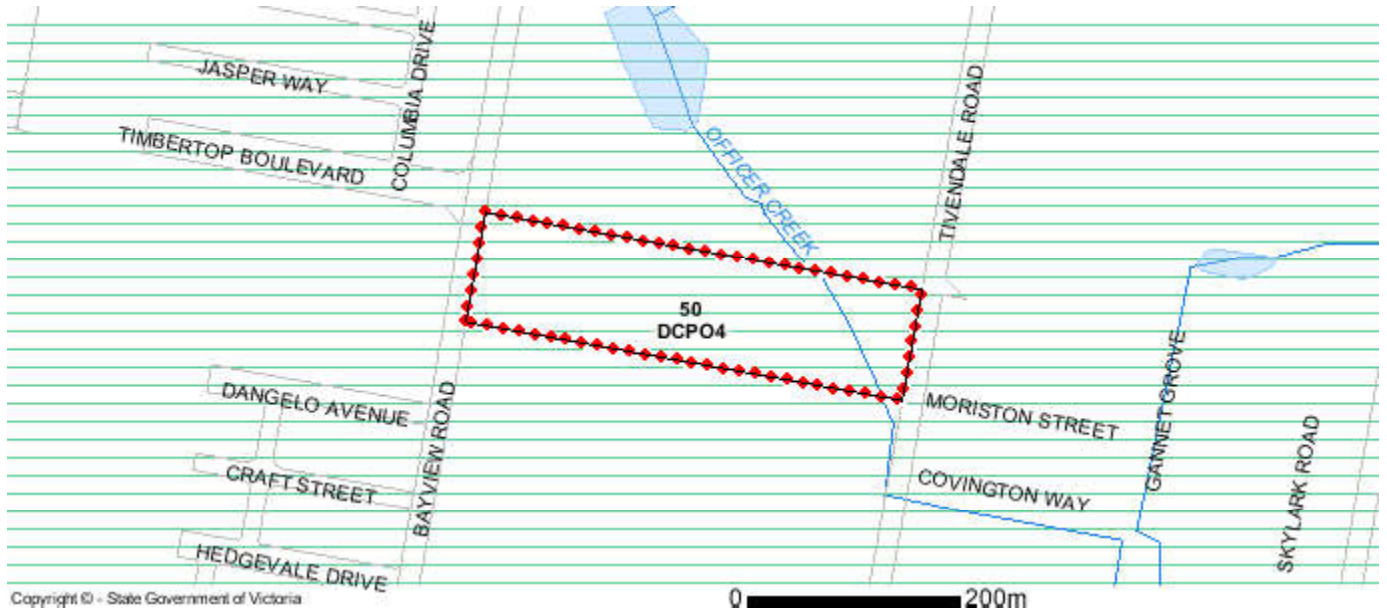
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Planning Overlays

[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY \(DCPO\)](#)

[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 4 \(DCPO4\)](#)

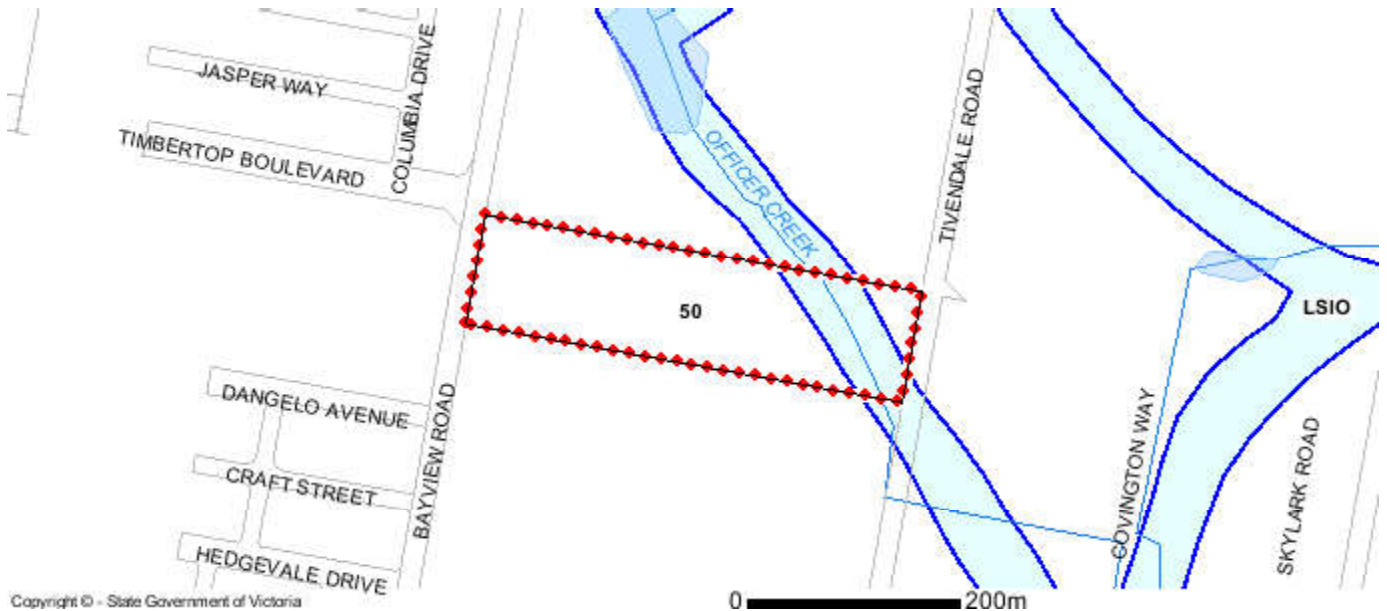


DCPO - Development Contributions Plan

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend.

[LAND SUBJECT TO INUNDATION OVERLAY \(LSIO\)](#)

[LAND SUBJECT TO INUNDATION OVERLAY SCHEDULE \(LSIO\)](#)



LSIO - Land Subject to Inundation

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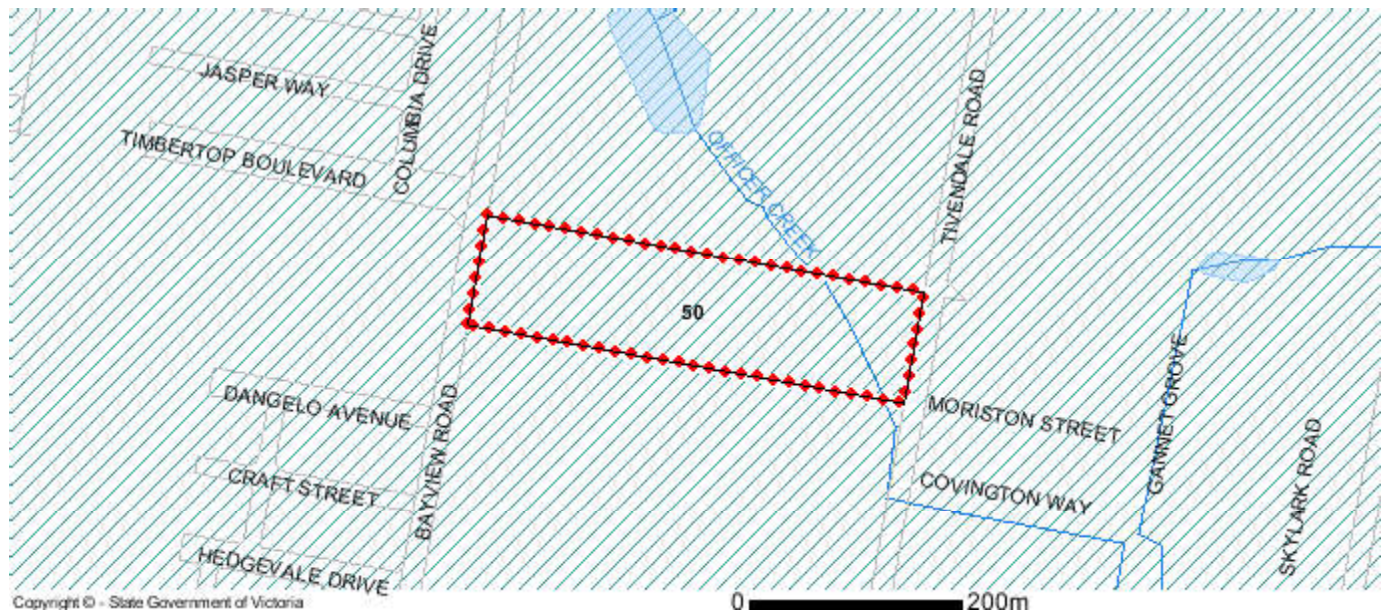
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Melbourne Strategic Assessment

The property may be located within the Melbourne Strategic Assessment program area. Actions associated with urban development are subject to requirements of the Commonwealth Environment Protection and Biodiversity Conservation Act 1999. Follow the link for more details: <https://nvm.delwp.vic.gov.au/BCS>



Melbourne Strategic Assessment Area

Further Planning Information

Planning scheme data last updated on 27 May 2019.

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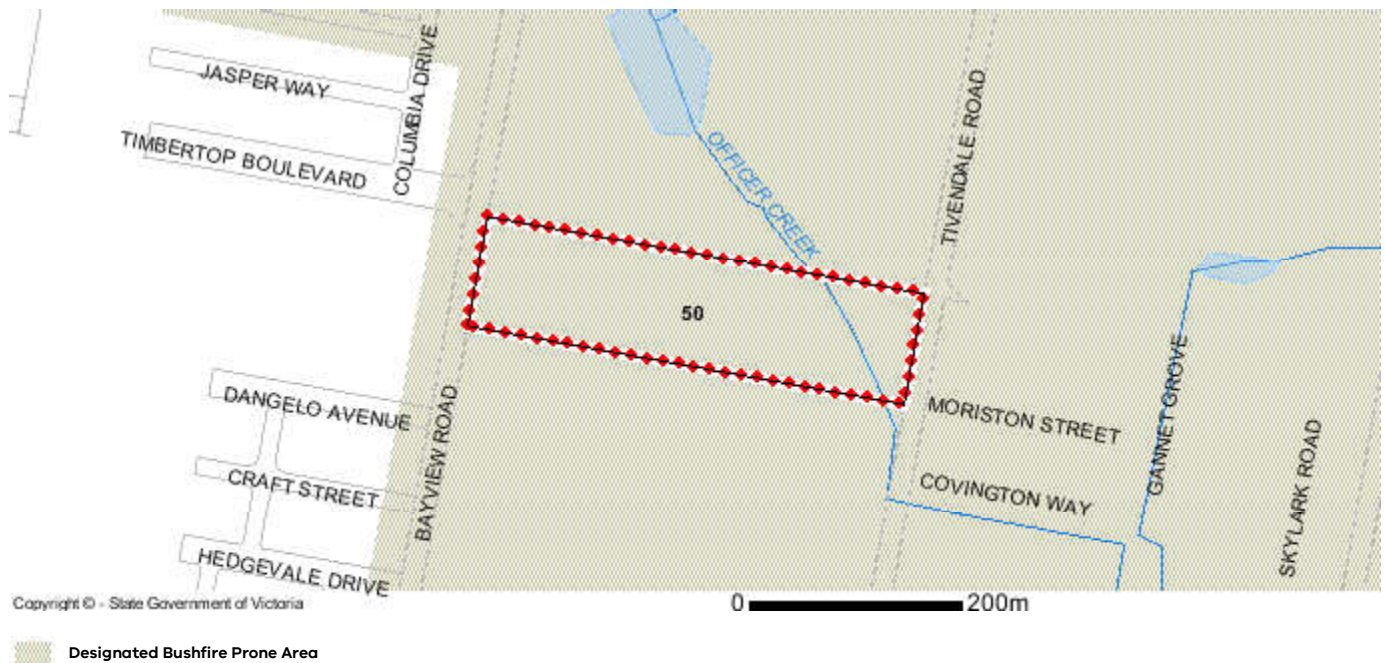
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Designated Bushfire Prone Area

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Copies of the Building Act and Building Regulations are available from www.legislation.vic.gov.au

For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

From www.planning.vic.gov.au on 05 June 2019 12:58 PM

PROPERTY DETAILS

Address: **415 PRINCES HIGHWAY OFFICER 3809**
Lot and Plan Number: **Lot 1 TP132216**
Standard Parcel Identifier (SPI): **1\TP132216**
Local Government Area (Council): **CARDINIA**
Council Property Number: **1701102300**
Planning Scheme: **Cardinia**
Directory Reference: **Melway 214 H3**

www.cardinia.vic.gov.au

planning-schemes.delwp.vic.gov.au/schemes/cardinia

UTILITIES

Rural Water Corporation: **Southern Rural Water**
Melbourne Water Retailer: **South East Water**
Melbourne Water: **inside drainage boundary**
Power Distributor: **AUSNET**

STATE ELECTORATES

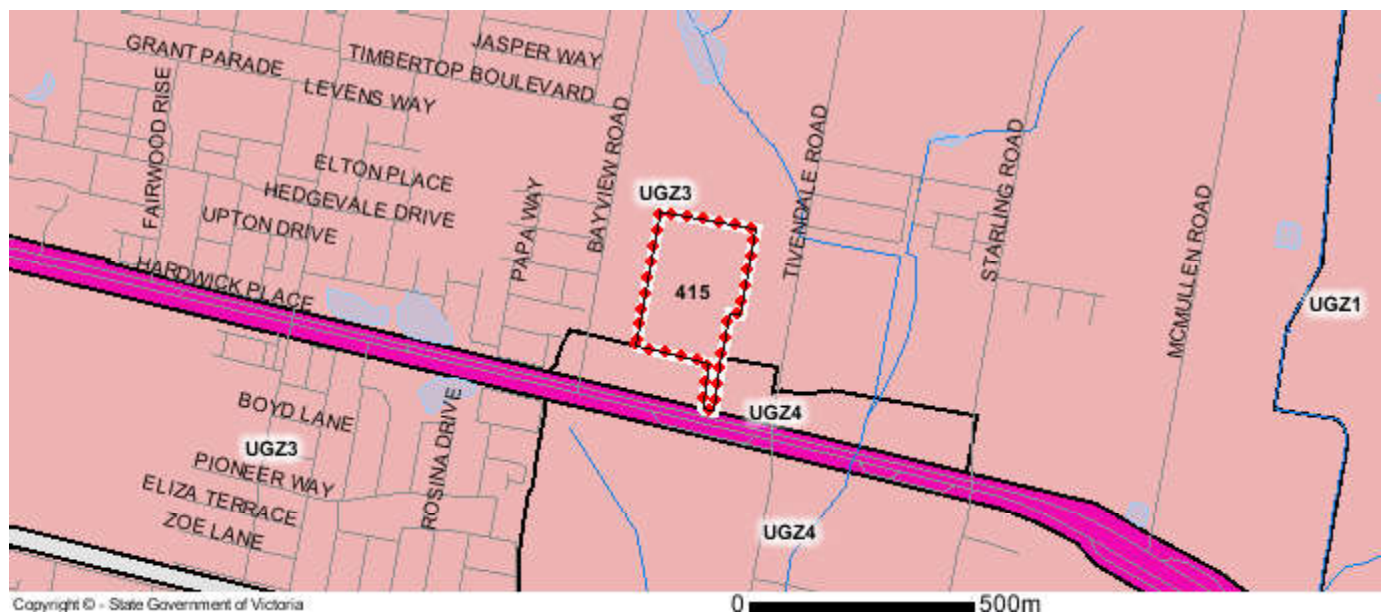
Legislative Council: **EASTERN VICTORIA**
Legislative Assembly: **GEMBROOK**

Planning Zones

[URBAN GROWTH ZONE \(UGZ\)](#)

[URBAN GROWTH ZONE - SCHEDULE 3 \(UGZ3\)](#)

[URBAN GROWTH ZONE - SCHEDULE 4 \(UGZ4\)](#)



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PUZ4 - Public Use - Transport

RDZ1 - Road - Category 1

UGZ - Urban Growth

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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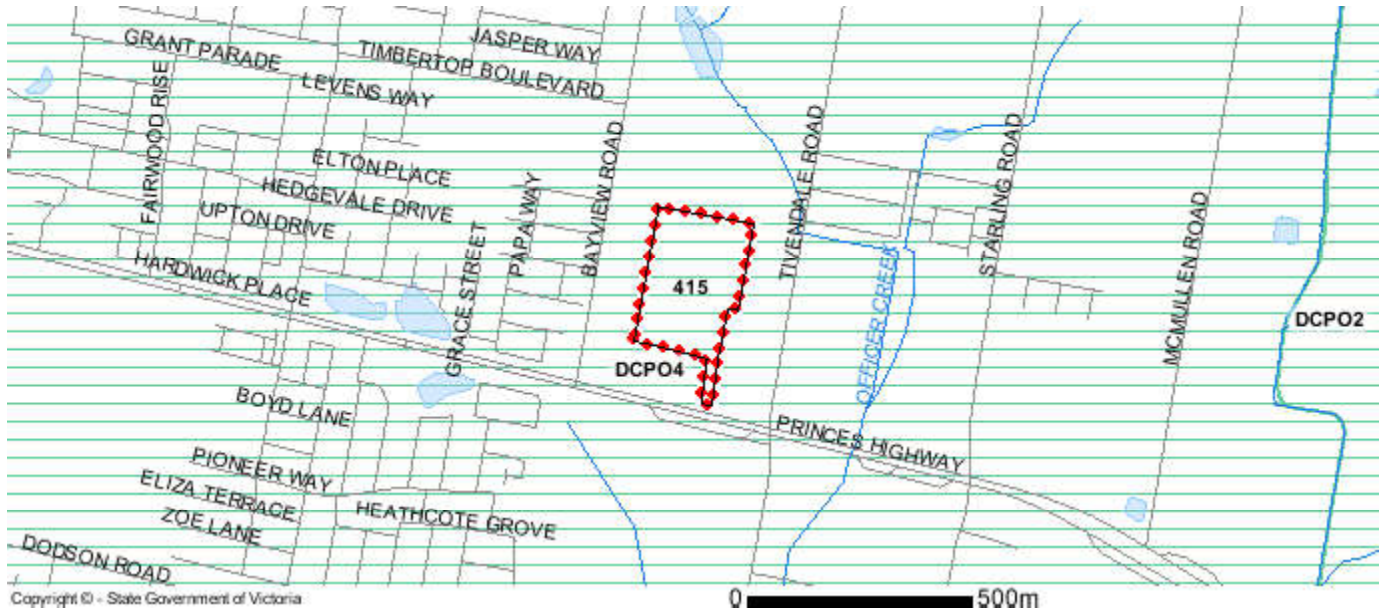
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Planning Overlay

[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY \(DCPO\)](#)

[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 4 \(DCPO4\)](#)



 DCPO - Development Contributions Plan

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend.

Planning Overlays

OTHER OVERLAYS

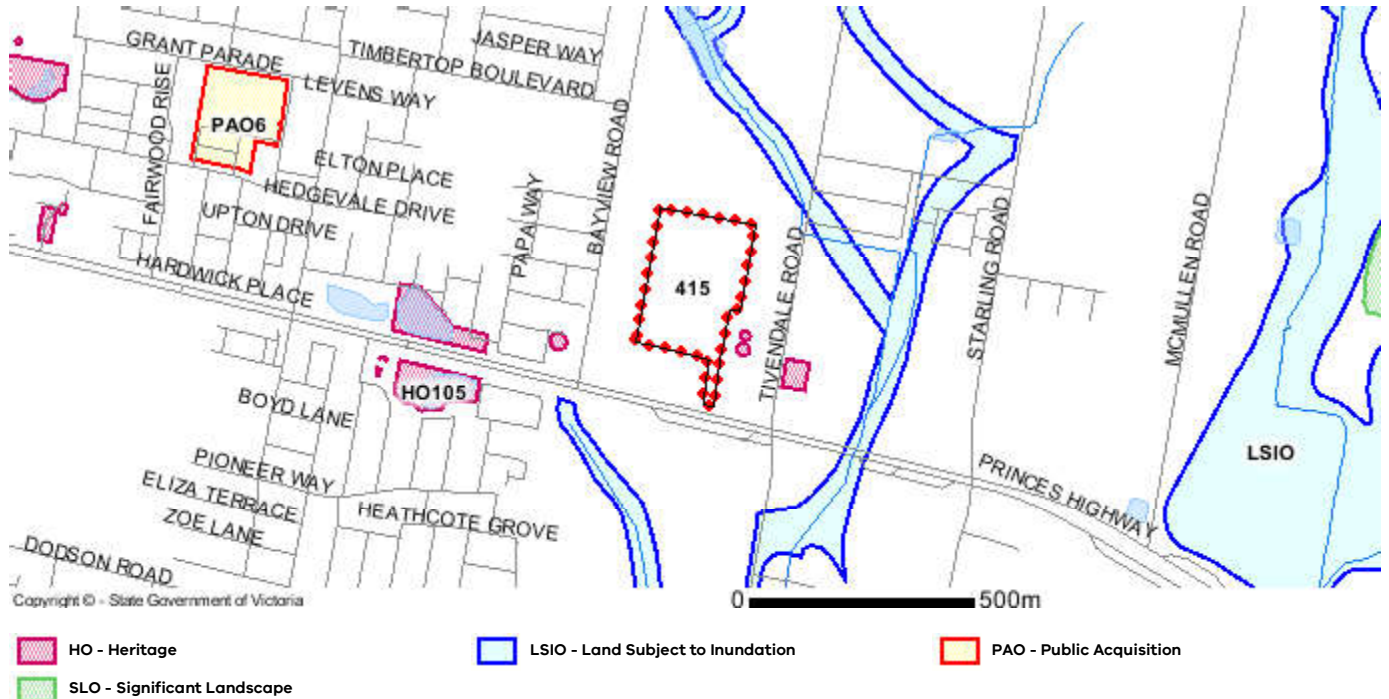
Other overlays in the vicinity not directly affecting this land

[HERITAGE OVERLAY \(HO\)](#)

[LAND SUBJECT TO INUNDATION OVERLAY \(LSIO\)](#)

[PUBLIC ACQUISITION OVERLAY \(PAO\)](#)

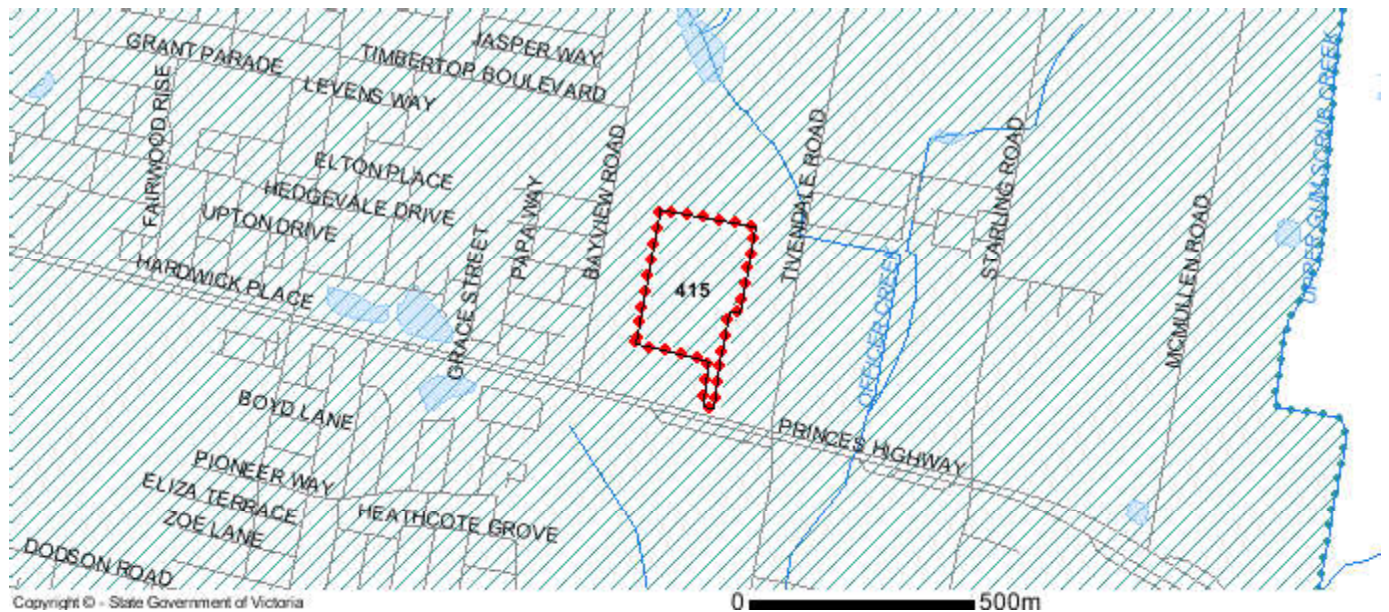
[SIGNIFICANT LANDSCAPE OVERLAY \(SLO\)](#)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend.

Melbourne Strategic Assessment

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Melbourne Strategic Assessment Area

Further Planning Information

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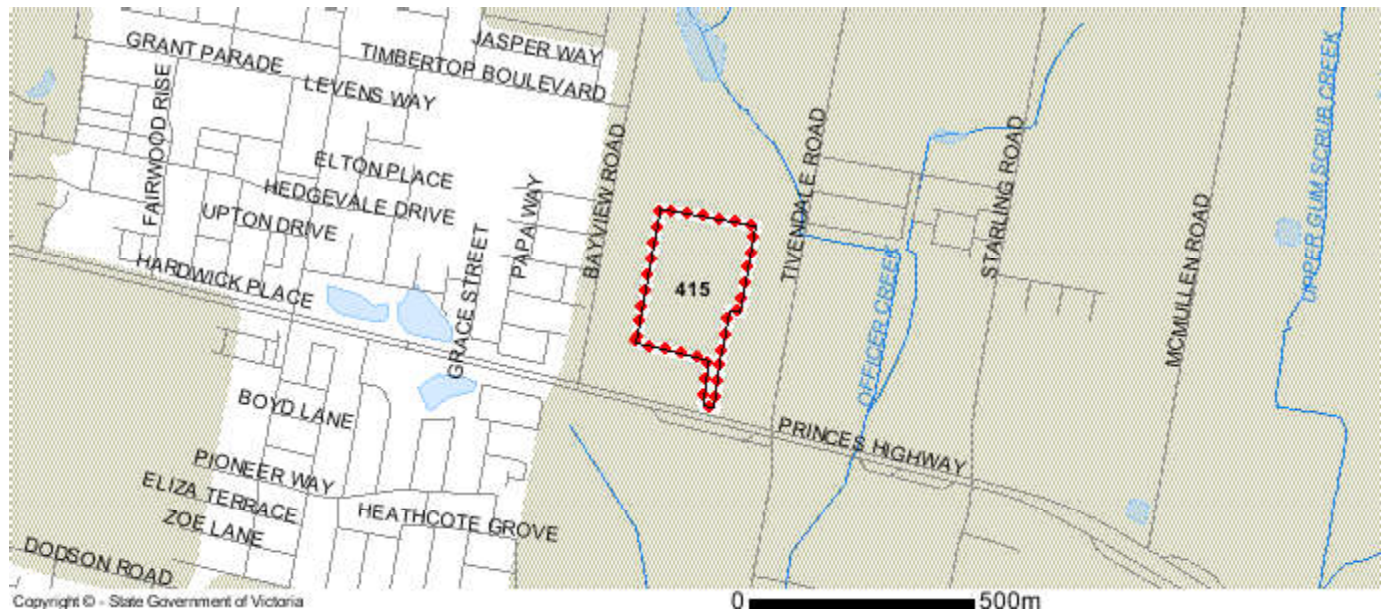
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For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

From www.planning.vic.gov.au on 05 June 2019 12:58 PM

PROPERTY DETAILS

Address: **46 BAYVIEW ROAD OFFICER 3809**
 Lot and Plan Number: **Lot 2 LP144824**
 Standard Parcel Identifier (SPI): **2\LP144824**
 Local Government Area (Council): **CARDINIA**
 Council Property Number: **1074750100**
 Planning Scheme: **Cardinia**
 Directory Reference: **Melway 214 G2**

www.cardinia.vic.gov.au

planning-schemes.delwp.vic.gov.au/schemes/cardinia

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Melbourne Water Retailer: **South East Water**
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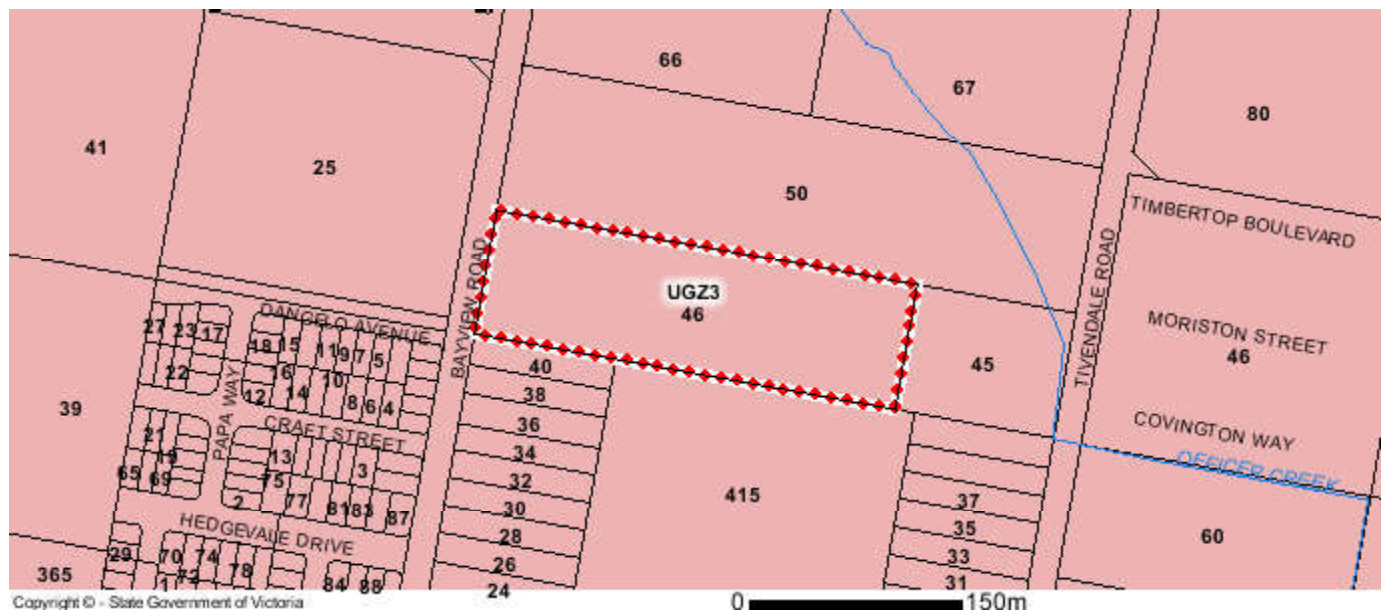
STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**
 Legislative Assembly: **GEMBROOK**

Planning Zones

[URBAN GROWTH ZONE \(UGZ\)](#)

[URBAN GROWTH ZONE - SCHEDULE 3 \(UGZ3\)](#)



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0 150m

UGZ - Urban Growth

Note: Labels for zones may appear outside the actual zone - please compare the labels with the legend.

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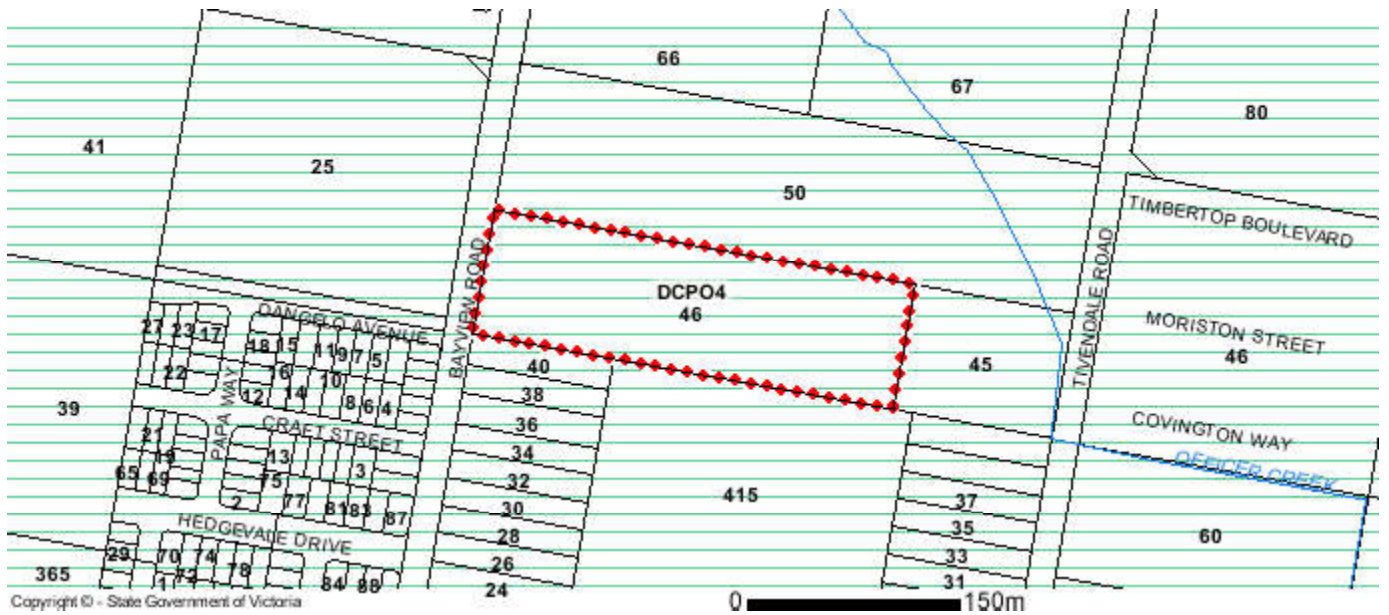
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Planning Overlay

DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY (DCPO)

DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 4 (DCPO4)



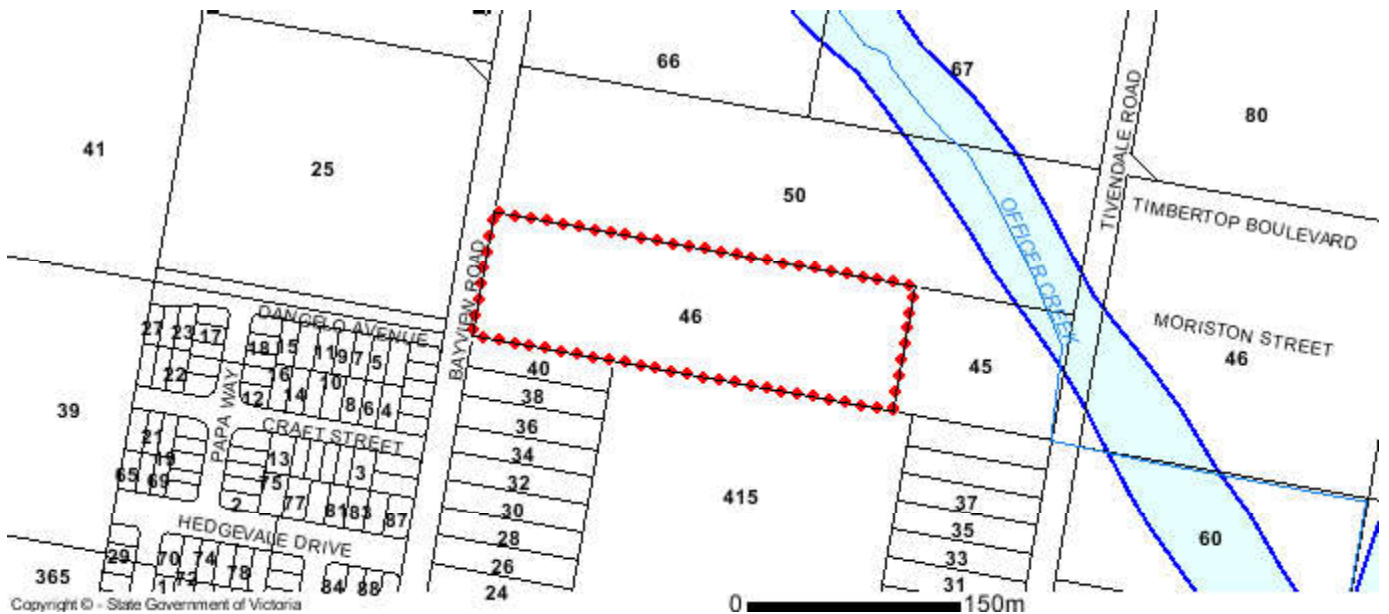
DCPO - Development Contributions Plan

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OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

LAND SUBJECT TO INUNDATION OVERLAY (LSIO)



LSIO - Land Subject to Inundation

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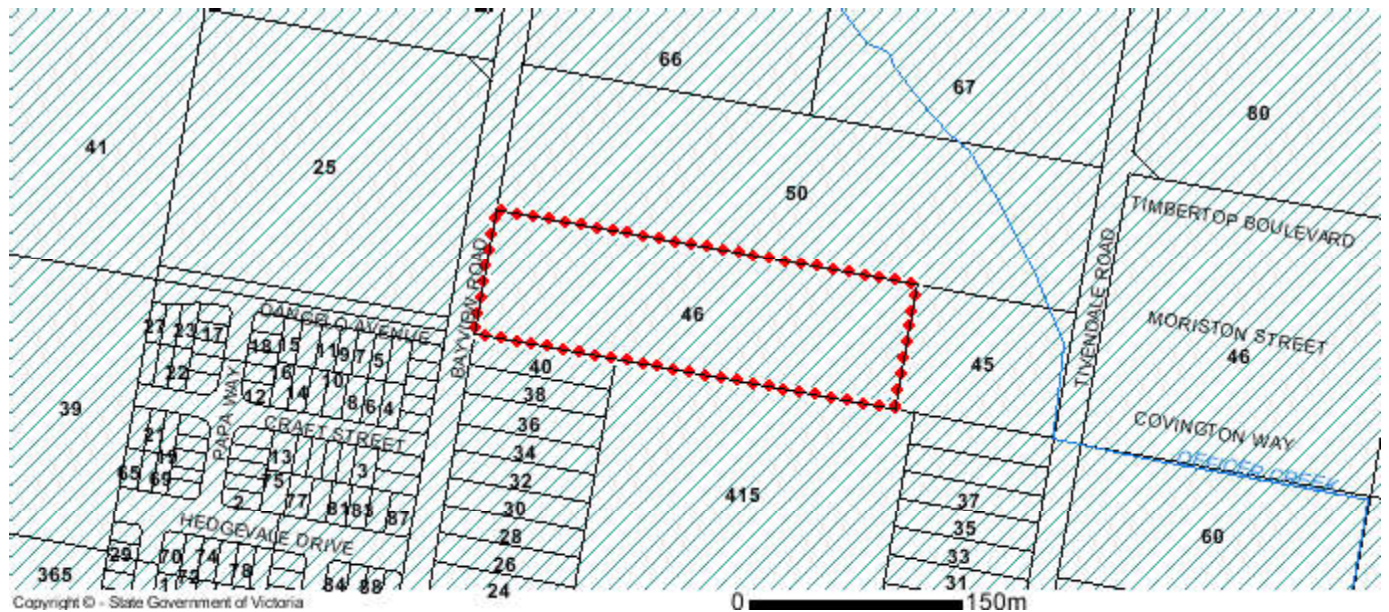
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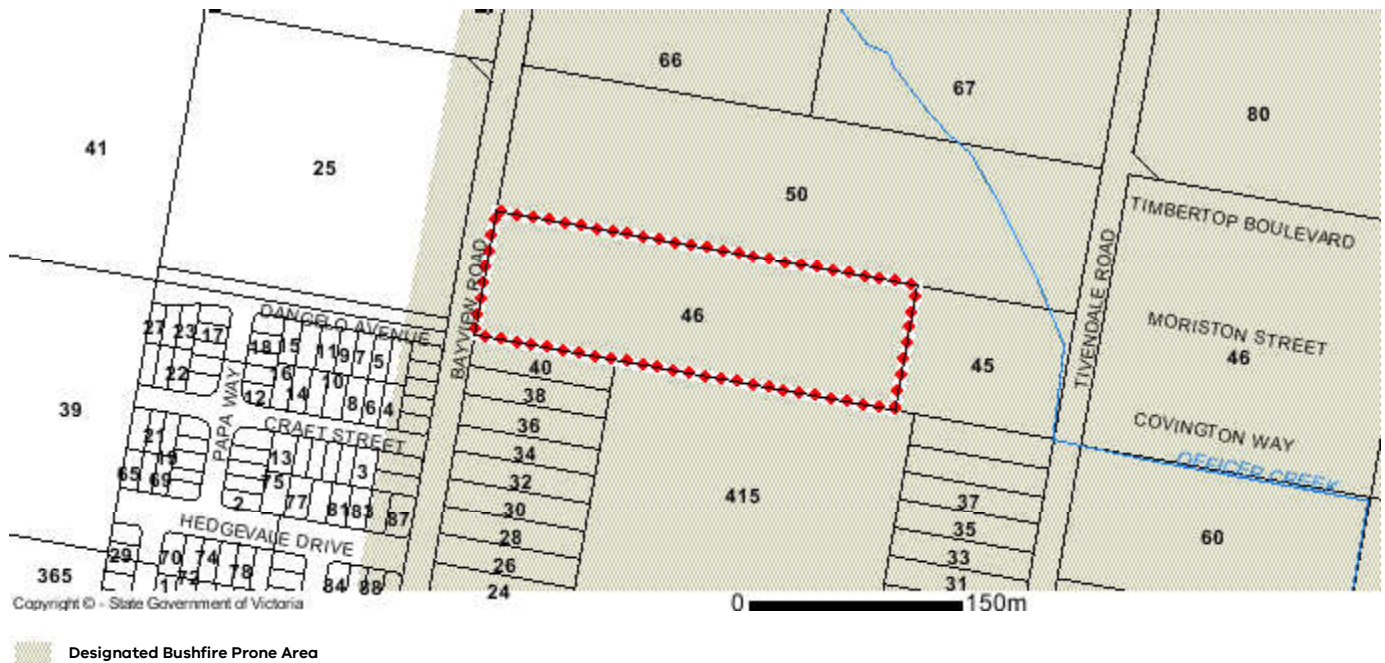
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Copies of the Building Act and Building Regulations are available from www.legislation.vic.gov.au

For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

29 May 2019

Property number: 1074750200
Our reference: INC1957730
Your reference: 31715216-015-6



Corrs Chambers Westgarth c/- Landata

PROPERTY INFORMATION REQUEST (51(1)) – FORM 10

Land (property) located at: Lot 1 (50) Bayview Road, Officer

In reply to your recent enquiry, I wish to advise that a search of our building records for the preceding ten (10) years reveals the following: -

Details of Building Permits and Certificate of Occupancy or Final Inspection:

Building Permit No.	Issue Date	Building Works	Final/OP Date
BS-U1470/2018067/0	28/02/2018	Demolition of existing dwelling and outbuilding	02/05/2018
BS-15547/010969/0	07/05/2014	Installation of signs	No record

Please note that Council is unaware of any current statement(s) issued under regulation 64 or 231 of the Building Regulations 2018.

Outstanding building related orders or Notices pertaining to the Building Act 1993: -

Type	Issue Date	Details
NIL		

The property: Is the building or land in an area:

- That is liable to flooding (Reg. 153)? **YES***
- That is a likely to be subject to termite attack (Reg. 150)? **YES**
- For which BAL level has been specified in a planning scheme? **NO****
- That is subject to significant snowfalls (Reg. 152)? **NO**
- Of designated land or works (Reg. 154)? **NO**

***NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

**** NOTE:** BAL='Bushfire Attack Level', BAL's may also be provided as restrictions on title/subdivision and shall be complied with. Refer to 'Land Channel' website for information relating to regulation 155 (designated state bushfire prone areas) <http://services.land.vic.gov.au/maps/bushfire.jsp>

Note:

This summary is an extract of Council's records only **made at the date the information is provided**. The **information provided** does not guarantee the current status of the building. An inspection has not been specifically conducted as a result of your enquiry. **The reply provided has been prepared as accurately as possible as at the date of the reply, from** information **currently** available to Council. Council accepts no liability for **any** omissions or errors contained in the information supplied. Where any doubt or concern is raised professional advice should be sought.

Any existing swimming pool/spa with a depth of over 300mm is required to be provided with suitable barriers to restrict young children from gaining access.

Please contact Councils building department without delay should an appropriate pool barrier not be in place, or should smoke alarms not be installed within a residential property.

Yours sincerely,

Donna Auhl

Development and Compliance Services

Cardinia Shire Council PO Box 7 Phone: 1300 787 624
ABN: 32 210 906 807 Pakenham 3810 Email: mail@cardinia.vic.gov.au
20 Siding Ave, Officer (DX 81006) Web: cardinia.vic.gov.au



29 May 2019

Property number: 1074750200
Our reference: INC1957730
Your reference: 31715216-015-6



Corrs Chambers Westgarth c/- Landata

PROPERTY INFORMATION REQUEST (51(2))

Land (property) located at: Lot 1 (50) Bayview Road, Officer
Proposed development: Unknown

BUILDING UNIT Is the building or land in an area:

- | | |
|--|------------|
| - That is liable to flooding (Reg. 153)? | NO* |
| - That is a likely to be subject to termite attack (Reg. 150)? | YES |
| - For which BAL level has been specified in a planning scheme? | NO ** |
| - That is subject to significant snowfalls (Reg. 152)? | NO |
| - Of designated land or works (Reg. 154)? | NO |

***NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

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PLANNING UNIT

For planning information please complete the planning information request located on our website https://www.cardinia.vic.gov.au/info/20005/planning_and_building/432/ and pay the associated fee.

COMMUNITY INFRASTRUCTURE LEVY

'Community infrastructure' levies are financial contributions made by landowners towards locally provided infrastructure that is required to meet the future needs of the community. Community Infrastructure Levy is applicable to new dwellings constructed in Pakenham, Officer and some areas of Beaconsfield.

Is the property subject to the Community Infrastructure Levy (payable by owner)? **YES**

Please note that a Community Infrastructure Levy (CIL) of \$1150.00 **per new dwelling** must be paid and a copy of the receipt forwarded to the 'relevant building surveyor' prior to the issue of a Building Permit. Please ensure that payment is made after the formal release of the land.

Note: Community Infrastructure Levy fee quoted is a guide only and may be subject to change without notice.


Payment of the CIL can be made in any of the following ways:

- to your private building surveyor or builder
- in person at the Cardinia Shire Council Civic Centre
- Credit card over the phone: 1300 787 624
- mail (please make cheques payable to Cardinia Shire Council): PO Box 7, Pakenham, Victoria 3810.

ASSET PROTECTION UNIT

The asset protection permit application fee and bond must both be paid and your permit issued **before works start**. Please refer to our website for further details: <https://www.cardinia.vic.gov.au/assetprotection>

Yours sincerely


Donna Auhl

Development and Compliance Services

29 May 2019

Property number: 1701102300
Our reference: INC1957801
Your reference: 31715298-015-0



Corrs Chambers Westgarth c/- Landata

PROPERTY INFORMATION REQUEST (51(1)) – FORM 10

Land (property) located at: Lot 1 (415) Princes Highway, Officer

In reply to your recent enquiry, I wish to advise that a search of our building records for the preceding ten (10) years reveals the following: -

Details of Building Permits and Certificate of Occupancy or Final Inspection:

Building Permit No.	Issue Date	Building Works	Final/OP Date
NIL			

Please note that Council is unaware of any current statement(s) issued under regulation 64 or 231 of the Building Regulations 2018.

Outstanding building related orders or Notices pertaining to the Building Act 1993: -

Type	Issue Date	Details
NIL		

The property: Is the building or land in an area:

- That is liable to flooding (Reg. 153)? **NO***
- That is a likely to be subject to termite attack (Reg. 150)? **YES**
- For which BAL level has been specified in a planning scheme? **NO****
- That is subject to significant snowfalls (Reg. 152)? **NO**
- Of designated land or works (Reg. 154)? **NO**

***NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

**** NOTE:** BAL='Bushfire Attack Level', BAL's may also be provided as restrictions on title/subdivision and shall be complied with. Refer to 'Land Channel' website for information relating to regulation 155 (designated state bushfire prone areas) <http://services.land.vic.gov.au/maps/bushfire.jsp>

Note:

This summary is an extract of Council's records only **made at the date the information is provided**. The **information provided** does not guarantee the current status of the building. An inspection has not been specifically conducted as a result of your enquiry. **The reply provided has been prepared as accurately as possible as at the date of the reply, from information currently available to Council**. Council accepts no liability for any omissions or errors contained in the information supplied. Where any doubt or concern is raised professional advice should be sought.

Any existing swimming pool/spa with a depth of over 300mm is required to be provided with suitable barriers to restrict young children from gaining access.

Please contact Councils building department without delay should an appropriate pool barrier not be in place, or should smoke alarms not be installed within a residential property.

Yours sincerely,

Donna Auhl
Development and Compliance Services

29 May 2019

Property number: 1701102300
Our reference: INC1957801
Your reference: 31715298-015-0



Corrs Chambers Westgarth c/- Landata

PROPERTY INFORMATION REQUEST (51(2))

Land (property) located at: Lot 1 (415) Princes Highway, Officer
Proposed development: Unknown

BUILDING UNIT Is the building or land in an area:

- | | |
|--|------------|
| - That is liable to flooding (Reg. 153)? | NO* |
| - That is a likely to be subject to termite attack (Reg. 150)? | YES |
| - For which BAL level has been specified in a planning scheme? | NO ** |
| - That is subject to significant snowfalls (Reg. 152)? | NO |
| - Of designated land or works (Reg. 154)? | NO |

***NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

**** NOTE:** BAL='Bushfire Attack Level', BAL's may also be provided as restrictions on title/subdivision and shall be complied with. Refer to 'Land Channel' website for information relating to regulation 155 (designated state bushfire prone areas) <http://services.land.vic.gov.au/maps/bushfire.jsp>

PLANNING UNIT

For planning information please complete the planning information request located on our website https://www.cardinia.vic.gov.au/info/20005/planning_and_building/432/ and pay the associated fee.

COMMUNITY INFRASTRUCTURE LEVY

'Community infrastructure' levies are financial contributions made by landowners towards locally provided infrastructure that is required to meet the future needs of the community. Community Infrastructure Levy is applicable to new dwellings constructed in Pakenham, Officer and some areas of Beaconsfield.

Is the property subject to the Community Infrastructure Levy (payable by owner)? **YES**

Please note that a Community Infrastructure Levy (CIL) of \$1150.00 **per new dwelling** must be paid and a copy of the receipt forwarded to the 'relevant building surveyor' prior to the issue of a Building Permit. Please ensure that payment is made after the formal release of the land.

Note: Community Infrastructure Levy fee quoted is a guide only and may be subject to change without notice.


Payment of the CIL can be made in any of the following ways:

- to your private building surveyor or builder
- in person at the Cardinia Shire Council Civic Centre
- Credit card over the phone: 1300 787 624
- mail (please make cheques payable to Cardinia Shire Council): PO Box 7, Pakenham, Victoria 3810.

ASSET PROTECTION UNIT

The asset protection permit application fee and bond must both be paid and your permit issued **before works start**. Please refer to our website for further details: <https://www.cardinia.vic.gov.au/assetprotection>

Yours sincerely


Donna Auhl

Development and Compliance Services

29 May 2019

Property number: 1074750100
Our reference: INC1957728
Your reference: 31715270-015-4



Corrs Chambers Westgarth c/- Landata

PROPERTY INFORMATION REQUEST (51(1)) – FORM 10

Land (property) located at: Lot 2 (46) Bayview Road, Officer

In reply to your recent enquiry, I wish to advise that a search of our building records for the preceding ten (10) years reveals the following: -

Details of Building Permits and Certificate of Occupancy or Final Inspection:

Building Permit No.	Issue Date	Building Works	Final/OP Date
BS-U1470/20180166/0	28/02/2018	Demolition of existing dwelling and outbuilding	02/05/2019

Please note that Council is unaware of any current statement(s) issued under regulation 64 or 231 of the Building Regulations 2018.

Outstanding building related orders or Notices pertaining to the Building Act 1993: -

Type	Issue Date	Details
NIL		

The property: Is the building or land in an area:

- That is liable to flooding (Reg. 153)? **NO***
- That is a likely to be subject to termite attack (Reg. 150)? **YES**
- For which BAL level has been specified in a planning scheme? **NO****
- That is subject to significant snowfalls (Reg. 152)? **NO**
- Of designated land or works (Reg. 154)? **NO**

***NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

**** NOTE:** BAL='Bushfire Attack Level', BAL's may also be provided as restrictions on title/subdivision and shall be complied with. Refer to 'Land Channel' website for information relating to regulation 155 (designated state bushfire prone areas) <http://services.land.vic.gov.au/maps/bushfire.jsp>

Note:

This summary is an extract of Council's records only **made at the date the information is provided**. The **information provided** does not guarantee the current status of the building. An inspection has not been specifically conducted as a result of your enquiry. **The reply provided has been prepared as accurately as possible as at the date of the reply, from** information **currently** available to Council. Council accepts no liability for **any** omissions or errors contained in the information supplied. Where any doubt or concern is raised professional advice should be sought.

Any existing swimming pool/spa with a depth of over 300mm is required to be provided with suitable barriers to restrict young children from gaining access.

Please contact Councils building department without delay should an appropriate pool barrier not be in place, or should smoke alarms not be installed within a residential property.

Yours sincerely,

Donna Auhl
Development and Compliance Services

29 May 2019

Property number: 1074750100
Our reference: INC1957728
Your reference: 31715270-015-4



Corrs Chambers Westgarth c/- Landata

PROPERTY INFORMATION REQUEST (51(2))

Land (property) located at: Lot 2 (46) Bayview Road, Officer
Proposed development: Unknown

BUILDING UNIT Is the building or land in an area:

- | | |
|--|-------|
| - That is liable to flooding (Reg. 153)? | NO* |
| - That is a likely to be subject to termite attack (Reg. 150)? | YES |
| - For which BAL level has been specified in a planning scheme? | NO ** |
| - That is subject to significant snowfalls (Reg. 152)? | NO |
| - Of designated land or works (Reg. 154)? | NO |

***NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

**** NOTE:** BAL='Bushfire Attack Level', BAL's may also be provided as restrictions on title/subdivision and shall be complied with. Refer to 'Land Channel' website for information relating to regulation 155 (designated state bushfire prone areas) <http://services.land.vic.gov.au/maps/bushfire.jsp>

PLANNING UNIT

For planning information please complete the planning information request located on our website https://www.cardinia.vic.gov.au/info/20005/planning_and_building/432/ and pay the associated fee.

COMMUNITY INFRASTRUCTURE LEVY

'Community infrastructure' levies are financial contributions made by landowners towards locally provided infrastructure that is required to meet the future needs of the community. Community Infrastructure Levy is applicable to new dwellings constructed in Pakenham, Officer and some areas of Beaconsfield.

Is the property subject to the Community Infrastructure Levy (payable by owner)? **YES**

Please note that a Community Infrastructure Levy (CIL) of \$1150.00 **per new dwelling** must be paid and a copy of the receipt forwarded to the 'relevant building surveyor' prior to the issue of a Building Permit. Please ensure that payment is made after the formal release of the land.

Note: Community Infrastructure Levy fee quoted is a guide only and may be subject to change without notice.


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- in person at the Cardinia Shire Council Civic Centre
- Credit card over the phone: 1300 787 624
- mail (please make cheques payable to Cardinia Shire Council): PO Box 7, Pakenham, Victoria 3810.

ASSET PROTECTION UNIT

The asset protection permit application fee and bond must both be paid and your permit issued **before works start**. Please refer to our website for further details: <https://www.cardinia.vic.gov.au/assetprotection>

Yours sincerely


Donna Auhl

Development and Compliance Services

Contact Name Brett McKenzie
Telephone 03 9628 0049
Facsimile 03 9628 6853
Your Ref: 31715216-010-1

4 June 2019

Corrs Chambers Westgarth
c/- Landata
GPO Box 527
MELBOURNE VIC 3001

Dear Sir/Madam,

Growth Areas Infrastructure Contribution (GAIC)

50 Bayview Road, Officer (Volume 8314 Folio 112) - (the land)

Thank you for your Application for a Growth Areas Infrastructure Contribution (GAIC) Certificate dated 27 May 2019 in respect of the land.

GAIC applies to certain land in excess of 0.41 hectares (1 acre) in the contribution area as defined by Section 201RC of the *Planning and Environment Act 1987*(PEA). Only certain lands in the designated growth area municipalities of Cardinia, Casey, Hume, Melton, Mitchell, Whittlesea and Wyndham may be subject to GAIC.

The Commissioner of State Revenue is satisfied that the land is not subject to GAIC as defined in the PEA at this time.

Applications for GAIC certificates may be made, at no charge, via the State Revenue Office (SRO) website at www.sro.vic.gov.au

For further details regarding GAIC, please visit the SRO website or telephone 03 9628 0049.

Yours sincerely



Brett McKenzie
Customer Service Officer
Land Revenue

Contact Name Brett McKenzie
Telephone 03 9628 0049
Facsimile 03 9628 6853
Your Ref: 31715298-010-5

4 June 2019

Corrs Chambers Westgarth
c/- Landata
GPO Box 527
MELBOURNE VIC 3001

Dear Sir/Madam,

Growth Areas Infrastructure Contribution (GAIC)

415 Princes Highway, Officer (Volume 9535 Folio 202) - (the land)

Thank you for your Application for a Growth Areas Infrastructure Contribution (GAIC) Certificate dated 27 May 2019 in respect of the land.

GAIC applies to certain land in excess of 0.41 hectares (1 acre) in the contribution area as defined by Section 201RC of the *Planning and Environment Act 1987*(PEA). Only certain lands in the designated growth area municipalities of Cardinia, Casey, Hume, Melton, Mitchell, Whittlesea and Wyndham may be subject to GAIC.

The Commissioner of State Revenue is satisfied that the land is not subject to GAIC as defined in the PEA at this time.

Applications for GAIC certificates may be made, at no charge, via the State Revenue Office (SRO) website at www.sro.vic.gov.au

For further details regarding GAIC, please visit the SRO website or telephone 03 9628 0049.

Yours sincerely



Brett McKenzie
Customer Service Officer
Land Revenue

Contact Name Brett McKenzie
Telephone 03 9628 0049
Facsimile 03 9628 6853
Your Ref: 31715270-010-9

4 June 2019

Corrs Chambers Westgarth
c/- Landata
GPO Box 527
MELBOURNE VIC 3001

Dear Sir/Madam,

Growth Areas Infrastructure Contribution (GAIC)

46 Bayview Road, Officer (Volume 9542 Folio 679) - (the land)

Thank you for your Application for a Growth Areas Infrastructure Contribution (GAIC) Certificate dated 27 May 2019 in respect of the land.

GAIC applies to certain land in excess of 0.41 hectares (1 acre) in the contribution area as defined by Section 201RC of the *Planning and Environment Act 1987*(PEA). Only certain lands in the designated growth area municipalities of Cardinia, Casey, Hume, Melton, Mitchell, Whittlesea and Wyndham may be subject to GAIC.

The Commissioner of State Revenue is satisfied that the land is not subject to GAIC as defined in the PEA at this time.

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For further details regarding GAIC, please visit the SRO website or telephone 03 9628 0049.

Yours sincerely



Brett McKenzie
Customer Service Officer
Land Revenue

ROADS PROPERTY CERTIFICATE

The search results are as follows:

Corrs Chambers Westgarth C/- InfoTrack
135 King Street
SYDNEY 2000
AUSTRALIA

Client Reference: 330

NO PROPOSALS. As at the 27th May 2019, VicRoads has no approved proposals requiring any part of the property described in your application. You are advised to check your local Council planning scheme regarding land use zoning of the property and surrounding area.

This certificate was prepared solely on the basis of the Applicant-supplied address described below, and electronically delivered by LANDATA®.

50 BAYVIEW ROAD, OFFICER 3809
SHIRE OF CARDINIA

This certificate is issued in respect of a property identified above. VicRoads expressly disclaim liability for any loss or damage incurred by any person as a result of the Applicant incorrectly identifying the property concerned.

Date of issue: 27th May 2019

Telephone enquiries regarding content of certificate: 13 11 71

ROADS PROPERTY CERTIFICATE

The search results are as follows:

Corrs Chambers Westgarth C/- InfoTrack
135 King Street
SYDNEY 2000
AUSTRALIA

Client Reference: 330

NO PROPOSALS. As at the 27th May 2019, VicRoads has no approved proposals requiring any part of the property described in your application. You are advised to check your local Council planning scheme regarding land use zoning of the property and surrounding area.

This certificate was prepared solely on the basis of the Applicant-supplied address described below, and electronically delivered by LANDATA®.

415 PRINCES HIGHWAY, OFFICER 3809
SHIRE OF CARDINIA

This certificate is issued in respect of a property identified above. VicRoads expressly disclaim liability for any loss or damage incurred by any person as a result of the Applicant incorrectly identifying the property concerned.

Date of issue: 27th May 2019

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Corrs Chambers Westgarth C/- InfoTrack
135 King Street
SYDNEY 2000
AUSTRALIA

Client Reference: 330

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46 BAYVIEW ROAD, OFFICER 3809
SHIRE OF CARDINIA

This certificate is issued in respect of a property identified above. VicRoads expressly disclaim liability for any loss or damage incurred by any person as a result of the Applicant incorrectly identifying the property concerned.

Date of issue: 27th May 2019

Telephone enquiries regarding content of certificate: 13 11 71

[Vicroads Certificate] # 31715270 - 31715270161234 '330'

CERTIFICATE

Pursuant to Section 58 of the *Heritage Act 2017*

Corrs Chambers Westgarth

CERTIFICATE NO:
31715216

PROPERTY ADDRESS:
50 BAYVIEW ROAD OFFICER

PARCEL DESCRIPTION:
Lot 1 LP48078

1. The place or object is not included in the Heritage Register.
2. The place is not in a World Heritage Environs Area.
3. The place or object is not subject to an interim protection order.
4. A nomination has not been made for inclusion of the place or object in the Heritage Register.
5. The place or object is not being considered for inclusion in the Heritage Register.
6. The site is not included in the Heritage Inventory.
7. A repair order is not in force in respect of the place or object.
8. There is not an order of the Supreme Court under Division 3 of Part 10 in force in respect of the place or object.
9. There is not a Governor in Council declaration made under section 227 in force against the owner of the place or object.
10. There is not a court order made under section 229 in force against a person in respect of the place or object.
11. There are no current proceedings for a contravention of this Act in respect of the place or object.
12. There has not been a rectification order issued in respect of the place or object.



Ainsley Thompson
Business Support Officer (Certificates)

(as delegate for Steven Avery, Executive Director, Heritage Victoria, pursuant to the instrument of delegation dated 20 May 2019)

DATED: 27 May 2019

Note: This Certificate is valid at the date of issue.

CERTIFICATE

Pursuant to Section 58 of the *Heritage Act 2017*

Corrs Chambers Westgarth

CERTIFICATE NO:
31715298

PROPERTY ADDRESS:
415 PRINCES HIGHWAY OFFICER

PARCEL DESCRIPTION:
Lot 1 TP132216B

1. The place or object is not included in the Heritage Register.
2. The place is not in a World Heritage Environs Area.
3. The place or object is not subject to an interim protection order.
4. A nomination has not been made for inclusion of the place or object in the Heritage Register.
5. The place or object is not being considered for inclusion in the Heritage Register.
6. The site is not included in the Heritage Inventory.
7. A repair order is not in force in respect of the place or object.
8. There is not an order of the Supreme Court under Division 3 of Part 10 in force in respect of the place or object.
9. There is not a Governor in Council declaration made under section 227 in force against the owner of the place or object.
10. There is not a court order made under section 229 in force against a person in respect of the place or object.
11. There are no current proceedings for a contravention of this Act in respect of the place or object.
12. There has not been a rectification order issued in respect of the place or object.



Ainsley Thompson
Business Support Officer (Certificates)

(as delegate for Steven Avery, Executive Director, Heritage Victoria, pursuant to the instrument of delegation dated 20 May 2019)

DATED: 27 May 2019

Note: This Certificate is valid at the date of issue.

CERTIFICATE

Pursuant to Section 58 of the *Heritage Act 2017*

Corrs Chambers Westgarth

CERTIFICATE NO:
31715270

PROPERTY ADDRESS:
46 BAYVIEW ROAD OFFICER

PARCEL DESCRIPTION:
Lot 2 LP144824

1. The place or object is not included in the Heritage Register.
2. The place is not in a World Heritage Environs Area.
3. The place or object is not subject to an interim protection order.
4. A nomination has not been made for inclusion of the place or object in the Heritage Register.
5. The place or object is not being considered for inclusion in the Heritage Register.
6. The site is not included in the Heritage Inventory.
7. A repair order is not in force in respect of the place or object.
8. There is not an order of the Supreme Court under Division 3 of Part 10 in force in respect of the place or object.
9. There is not a Governor in Council declaration made under section 227 in force against the owner of the place or object.
10. There is not a court order made under section 229 in force against a person in respect of the place or object.
11. There are no current proceedings for a contravention of this Act in respect of the place or object.
12. There has not been a rectification order issued in respect of the place or object.



Ainsley Thompson
Business Support Officer (Certificates)

(as delegate for Steven Avery, Executive Director, Heritage Victoria, pursuant to the instrument of delegation dated 20 May 2019)

DATED: 27 May 2019

Note: This Certificate is valid at the date of issue.



28 May 2019

Corrs Chambers Westgarth C/- InfoTrack
c/- Landata
GPO BOX 527
MELBOURNE VIC 3001

6 Parliament Place
East Melbourne
VIC 3002

Email: conservation@nattrust.com.au

Web: www.nationaltrust.org.au

T 03 9656 9818

Re: Vol 8314 Folio 112, 50 BAYVIEW ROAD OFFICER, VIC 3809
Reference: 31715216-030-9

Dear Sir/Madam,

With reference to your recent enquiry, I write to advise that as of this date the above property is **not classified** by the National Trust.

Please note that the property may have been identified on the following statutory registers:

- Victorian Heritage Register—Heritage Victoria, Department of Environment, Land, Water and Planning
<https://www.heritage.vic.gov.au/> or 03 9938 6894
- Victorian Aboriginal Heritage Register—Department of Premier and Cabinet
vahr@dpc.vic.gov.au or 1800 762 003
- Municipal planning controls—contact the Statutory Planning department of the **Shire of Cardinia**
- World, National and Commonwealth Heritage Lists—Department of the Environment
<http://www.environment.gov.au/topics/heritage/heritage-places>

For further information about classification on the National Trust Register visit:

<https://www.nationaltrust.org.au/services/heritage-register-vic/>

For enquiries please contact the National Trust Conservation & Advocacy Team on 03 9656 9818.

Yours faithfully,

Felicity Watson
Advocacy Manager
National Trust of Australia (Victoria)



28 May 2019

Corrs Chambers Westgarth C/- InfoTrack
c/- Landata
GPO BOX 527
MELBOURNE VIC 3001

6 Parliament Place
East Melbourne
VIC 3002

Email: conservation@nattrust.com.au

Web: www.nationaltrust.org.au

T 03 9656 9818

Re: Vol 9535 Folio 202, 415 PRINCES HIGHWAY OFFICER, VIC 3809
Reference: 31715298-030-3

Dear Sir/Madam,

With reference to your recent enquiry, I write to advise that as of this date the above property is **not classified** by the National Trust.

Please note that the property may have been identified on the following statutory registers:

- Victorian Heritage Register—Heritage Victoria, Department of Environment, Land, Water and Planning
<https://www.heritage.vic.gov.au/> or 03 9938 6894
- Victorian Aboriginal Heritage Register—Department of Premier and Cabinet
vahr@dpc.vic.gov.au or 1800 762 003
- Municipal planning controls—contact the Statutory Planning department of the **Shire of Cardinia**
- World, National and Commonwealth Heritage Lists—Department of the Environment
<http://www.environment.gov.au/topics/heritage/heritage-places>

For further information about classification on the National Trust Register visit:

<https://www.nationaltrust.org.au/services/heritage-register-vic/>

For enquiries please contact the National Trust Conservation & Advocacy Team on 03 9656 9818.

Yours faithfully,

Felicity Watson
Advocacy Manager
National Trust of Australia (Victoria)



28 May 2019

Corrs Chambers Westgarth C/- InfoTrack
c/- Landata
GPO BOX 527
MELBOURNE VIC 3001

6 Parliament Place
East Melbourne
VIC 3002

Email: conservation@nattrust.com.au

Web: www.nationaltrust.org.au

T 03 9656 9818

Re: Vol 9542 Folio 679, 46 BAYVIEW ROAD OFFICER, VIC 3809
Reference: 31715270-030-7

Dear Sir/Madam,

With reference to your recent enquiry, I write to advise that as of this date the above property is **not classified** by the National Trust.

Please note that the property may have been identified on the following statutory registers:

- Victorian Heritage Register—Heritage Victoria, Department of Environment, Land, Water and Planning
<https://www.heritage.vic.gov.au/> or 03 9938 6894
- Victorian Aboriginal Heritage Register—Department of Premier and Cabinet
vahr@dpc.vic.gov.au or 1800 762 003
- Municipal planning controls—contact the Statutory Planning department of the **Shire of Cardinia**
- World, National and Commonwealth Heritage Lists—Department of the Environment
<http://www.environment.gov.au/topics/heritage/heritage-places>

For further information about classification on the National Trust Register visit:

<https://www.nationaltrust.org.au/services/heritage-register-vic/>

For enquiries please contact the National Trust Conservation & Advocacy Team on 03 9656 9818.

Yours faithfully,

Felicity Watson
Advocacy Manager
National Trust of Australia (Victoria)

Extract of EPA Priority Site Register

Page 1 of 1



**** Delivered by the LANDATA® System, Department of Environment, Land, Water & Planning ****

PROPERTY INQUIRY DETAILS:

STREET ADDRESS: 50 BAYVIEW ROAD

SUBURB: OFFICER

MUNICIPALITY: CARDINIA

MAP REFERENCES: Melways 40th Edition, Street Directory, Map 214 Reference H2
Melways 40th Edition, Street Directory, Map 214 Reference G2

DATE OF SEARCH: 27th May 2019

PRIORITY SITES REGISTER REPORT:

A search of the Priority Sites Register for the above map references, corresponding to the address given above, has indicated that this site is not listed on, and is not in the vicinity of a site listed on the Priority Sites Register at the above date.

IMPORTANT INFORMATION ABOUT THE PRIORITY SITES REGISTER:

You should be aware that the Priority Sites Register lists only those sites for which EPA has requirements for active management of land and groundwater contamination. Appropriate clean up and management of these sites is an EPA priority, and as such, EPA has issued either a:

Clean Up Notice pursuant to section 62A, or a

Pollution Abatement Notice pursuant to section 31A or 31B

of the Environment Protection Act 1970 on the occupier of the site to require active management of these sites.

The Priority Sites Register does not list all sites known to be contaminated in Victoria. A site should not be presumed to be free of contamination just because it does not appear on the Priority Sites Register.

Persons intending to enter into property transactions should be aware that many properties may have been contaminated by past land uses and EPA may not be aware of the presence of contamination. EPA has published information advising of potential contaminating land uses. Municipal planning authorities hold information about previous land uses, and it is advisable that such sources of information also be consulted.

For sites listed on the Priority Sites Register, a copy of the relevant Notice, detailing the reasons for issue of the Notice, and management requirements, is available on request from EPA for \$8 per Notice.

For more information relating to the Priority Sites Register, refer to EPA contaminated site information bulletin: Priority Sites Register Contaminated Land Audit Site Listing (EPA Publication 735). For a copy of this publication, copies of relevant Notices, or for more information relating to sites listed on the Priority Sites Register, please contact EPA as given below:

Environment Protection Authority Victoria
GPO Box 4395 Melbourne Victoria 3001
Tel: 1300 372 842

Extract of EPA Priority Site Register

Page 1 of 1



**** Delivered by the LANDATA® System, Department of Environment, Land, Water & Planning ****

PROPERTY INQUIRY DETAILS:

STREET ADDRESS: 415 PRINCES HIGHWAY

SUBURB: OFFICER

MUNICIPALITY: CARDINIA

MAP REFERENCES: Melways 40th Edition, Street Directory, Map 214 Reference H2

Melways 40th Edition, Street Directory, Map 214 Reference G3

Melways 40th Edition, Street Directory, Map 214 Reference H3

DATE OF SEARCH: 27th May 2019

PRIORITY SITES REGISTER REPORT:

A search of the Priority Sites Register for the above map references, corresponding to the address given above, has indicated that this site is not listed on, and is not in the vicinity of a site listed on the Priority Sites Register at the above date.

IMPORTANT INFORMATION ABOUT THE PRIORITY SITES REGISTER:

You should be aware that the Priority Sites Register lists only those sites for which EPA has requirements for active management of land and groundwater contamination. Appropriate clean up and management of these sites is an EPA priority, and as such, EPA has issued either a:

Clean Up Notice pursuant to section 62A, or a

Pollution Abatement Notice pursuant to section 31A or 31B

of the Environment Protection Act 1970 on the occupier of the site to require active management of these sites.

The Priority Sites Register does not list all sites known to be contaminated in Victoria. A site should not be presumed to be free of contamination just because it does not appear on the Priority Sites Register.

Persons intending to enter into property transactions should be aware that many properties may have been contaminated by past land uses and EPA may not be aware of the presence of contamination. EPA has published information advising of potential contaminating land uses. Municipal planning authorities hold information about previous land uses, and it is advisable that such sources of information also be consulted.

For sites listed on the Priority Sites Register, a copy of the relevant Notice, detailing the reasons for issue of the Notice, and management requirements, is available on request from EPA for \$8 per Notice.

For more information relating to the Priority Sites Register, refer to EPA contaminated site information bulletin: Priority Sites Register Contaminated Land Audit Site Listing (EPA Publication 735). For a copy of this publication, copies of relevant Notices, or for more information relating to sites listed on the Priority Sites Register, please contact EPA as given below:

Environment Protection Authority Victoria

GPO Box 4395 Melbourne Victoria 3001

Tel: 1300 372 842

Extract of EPA Priority Site Register

Page 1 of 1



**** Delivered by the LANDATA® System, Department of Environment, Land, Water & Planning ****

PROPERTY INQUIRY DETAILS:

STREET ADDRESS: 46 BAYVIEW ROAD

SUBURB: OFFICER

MUNICIPALITY: CARDINIA

MAP REFERENCES: Melways 40th Edition, Street Directory, Map 214 Reference H2
Melways 40th Edition, Street Directory, Map 214 Reference G2

DATE OF SEARCH: 27th May 2019

PRIORITY SITES REGISTER REPORT:

A search of the Priority Sites Register for the above map references, corresponding to the address given above, has indicated that this site is not listed on, and is not in the vicinity of a site listed on the Priority Sites Register at the above date.

IMPORTANT INFORMATION ABOUT THE PRIORITY SITES REGISTER:

You should be aware that the Priority Sites Register lists only those sites for which EPA has requirements for active management of land and groundwater contamination. Appropriate clean up and management of these sites is an EPA priority, and as such, EPA has issued either a:

Clean Up Notice pursuant to section 62A, or a

Pollution Abatement Notice pursuant to section 31A or 31B

of the Environment Protection Act 1970 on the occupier of the site to require active management of these sites.

The Priority Sites Register does not list all sites known to be contaminated in Victoria. A site should not be presumed to be free of contamination just because it does not appear on the Priority Sites Register.

Persons intending to enter into property transactions should be aware that many properties may have been contaminated by past land uses and EPA may not be aware of the presence of contamination. EPA has published information advising of potential contaminating land uses. Municipal planning authorities hold information about previous land uses, and it is advisable that such sources of information also be consulted.

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Environment Protection Authority Victoria
GPO Box 4395 Melbourne Victoria 3001
Tel: 1300 372 842

Victorian Aboriginal Heritage Register – Advice as to the existence of records in relation to a nominated area of land.

Reference Number:

23528

SECTION 1 – Applicant Information

Name of applicant:

Bethany Willoughby

Organisation:

InfoTrack

Postal address:

Level 5 459 Collins St

Melbourne

VIC 3000

Telephone number:

03 8609 4740

Email address:

vicsearching@infotrack.com.au

Customer Reference No.

9143456

SECTION 2 – Land Description (as provided by the applicant)

Subdivisional References (Lot / Plan):

1/LP48078

Crown References:

Title References (Volume / Folio) :

8314/112

Street Address:

50 BAYVIEW ROAD, OFFICER 3809

Other description:

Order ID: 57799615

Directory Reference:

Directory:

SECTION 3 – Registered Information

Are there any registered Aboriginal Places or Objects on the nominated area of land?

No

Are there any other areas of cultural heritage sensitivity associated with the nominated area of land? (See over).

No

Does the Register contain a record of a notified place (ie a place reported but not yet inspected) in relation to the nominated area of land?

No

Does a stop order exist in relation to any part of the nominated area of land?

No

Does an interim or ongoing protection declaration exist in relation to any part of the nominated area of land?

No

Does a cultural heritage agreement or Aboriginal cultural heritage land management agreement exist in relation to any part of the nominated area of land?

No

Signed:

Date: 30/May/2019



Heather Bannerman
Manager, Heritage Information
Aboriginal Victoria

SECTION 4 – Terms & Conditions

Terminology

In these terms and conditions, the expressions "we", "us" and "our" are a reference to the Government of the State of Victoria, acting through Aboriginal Victoria, an agency of the Department of Premier and Cabinet.

Advice provided from the Register

Access to the information requested from the Register in the "Application for advice as to the existence of records in relation to a nominated area of land" form (the "Form") is subject to the discretion of the Secretary and the requirements of the Act.

The absence of records on the Register for a nominated area of land does not necessarily mean that the area is devoid of Aboriginal cultural heritage values. Applicants should be aware of the provisions of s.17 and s.24 of the *Aboriginal Heritage Act 2006*, which require the reporting of Aboriginal remains, Aboriginal places and objects discovered in Victoria. Applicants should also be aware that it is an offence under the *Aboriginal Heritage Act 2006* to harm Aboriginal cultural heritage, for which significant penalties apply. This advice does not abrogate any requirement to prepare a Cultural Heritage Management Plan under the *Aboriginal Heritage Act 2006*.

Specific conditions of advice provided from the Register for an application under s.147

The Secretary, Department of Premier and Cabinet may refuse to provide any information to the Applicant if the provision of the information would be likely to endanger Aboriginal cultural heritage (refer to s.147 (4) of the Act).

Use of information

Information provided to the Applicant from the Register as a result of this application and for the land described in Section 2 ("Information") may only be used for the purposes nominated by the Applicant in the Form (and for no other purposes). The Information may not be on-sold or rebadged without our written permission.

Documents to be lodged with Registrar

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Specifically, and other than for the purposes of and subject to the conditions prescribed in the *Copyright Act 1968* (Cth), you may not in any form or by any means adapt, reproduce, store, create derivative works, distribute, print, display, perform, publish or commercialise the Information without our written permission.

Disclaimer

The Information is provided for information purposes only. Except as expressly stated to the contrary, no claim is made as to the accuracy or authenticity of its content. The Information is provided on the basis that any persons having access to it undertake responsibility for assessing the relevance and accuracy of its content. We do not accept responsibility for any loss or damage, however caused (including through negligence) which you may directly or indirectly suffer in connection with your use of the Information, nor do we accept any responsibility for any such loss arising out of your use or reliance (or any other person's use or reliance) on the Information.

The disclaimer set out in these terms and conditions is not affected or modified by any of the other terms and conditions in these Terms and Conditions. Nevertheless, our disclaimer does not attempt to purport to exclude liability in relation to any term implied by law which cannot be lawfully excluded.

Indemnity

You agree to indemnify and hold us, our agents and employees, harmless from any claim or demand, made by any third party due to, or arising out of or in connection with, your breach of these terms and conditions, or your infringement of any rights of a third party, or the provision of any information to a third party.

Governing Law

These terms and conditions are governed by the laws in force in the State of Victoria, Australia.

Third Party Disclosure

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<http://www.dpc.vic.gov.au/index.php/aboriginal-affairs/heritage-tools/areas-of-cultural-heritage-sensitivity>>

Victorian Aboriginal Heritage Register – Advice as to the existence of records in relation to a nominated area of land.

Reference Number:

23530

SECTION 1 – Applicant Information

Name of applicant:

BEthany Willoughby

Organisation:

InfoTrack

Postal address:

Level 5 459 Collins St

Melbourne

VIC 3000

Telephone number:

03 8609 4740

Email address:

vicsearching@infotrack.com.au

Customer Reference No.

9143456

SECTION 2 – Land Description (as provided by the applicant)

Subdivisional References (Lot / Plan):

1/TP132216B

Crown References:

Title References (Volume / Folio) :

9535/202

Street Address:

415 PRINCES HIGHWAY, OFFICER 3809

Other description:

Order ID: 57799850

Directory Reference:

Directory:

SECTION 3 – Registered Information

Are there any registered Aboriginal Places or Objects on the nominated area of land?

No

Are there any other areas of cultural heritage sensitivity associated with the nominated area of land? (See over).

No

Does the Register contain a record of a notified place (ie a place reported but not yet inspected) in relation to the nominated area of land?

No

Does a stop order exist in relation to any part of the nominated area of land?

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Does an interim or ongoing protection declaration exist in relation to any part of the nominated area of land?

No

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No

Signed:

Date: 30/May/2019



Heather Bannerman
 Manager, Heritage Information
 Aboriginal Victoria

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Indemnity

You agree to indemnify and hold us, our agents and employees, harmless from any claim or demand, made by any third party due to, or arising out of or in connection with, your breach of these terms and conditions, or your infringement of any rights of a third party, or the provision of any information to a third party.

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Victorian Aboriginal Heritage Register – Advice as to the existence of records in relation to a nominated area of land.

Reference Number:

23529

SECTION 1 – Applicant Information

Name of applicant:

Bethany Willoughby

Organisation:

InfoTrack

Postal address:

Level 5 459 Collins St

Melbourne

VIC 3000

Telephone number:

03 8609 4740

Email address:

vicsearching@infotrack.com.au

Customer Reference No.

9143456

SECTION 2 – Land Description (as provided by the applicant)

Subdivisional References (Lot / Plan):

2/LP144824

Crown References:

Title References (Volume / Folio) :

9542/679

Street Address:

46 BAYVIEW ROAD, OFFICER 3809

Other description:

Order ID: 57799740

Directory Reference:

Directory:

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Design Guidelines

DRAFT ONLY, MARCH 2019



live life connected

hillstowe

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Vision

Hillstowe gives families the opportunity to enjoy country town living in a brand new development. Hillstowe comprises of approximately 200 house lots varying in size to suit all lifestyles and has been planned as a high quality vibrant residential community.

Characterised by tree lined streets, picturesque views, all surrounding the parkland. Hillstowe offers a laid back, relaxed and family orientated lifestyle.

Purpose

To maintain the high amenity standards at Hillstowe and to secure its future lifestyle benefits and investment appeal. All purchasers are required to comply with the Design Guidelines.

The Design Guidelines aim to enhance the visual amenity and urban design quality of Hillstowe, while ensuring that all who build around you are committed to maintaining similarly high standards.

Design Review Panel

The Design Review Panel (DRP) has been created to evaluate all proposed home designs within Hillstowe.

Purchasers or their selected Builders must submit their house design for review and approval.

The design guidelines may be amended from time to time at the Developer's discretion to reflect changes in design and building trends and/or amendments to legislation affecting building approvals. Applications will be assessed against (and must comply with) the current version of the design guidelines. The final decision regarding all aspects of the design guidelines will be at the discretion of the DRP and written consent from the Cardinia Shire Council. The DRP also reserve the right to waive or vary any requirements of the design guidelines.



The Process

One set of plans and external colour schedule should be submitted via email in PDF format.

Applications should consist of:

1. Application Form

2. Site Plan (scale 1 : 200)

Showing boundary setback dimensions, building envelopes, total site coverage and floor areas, site contours, natural ground levels and finish ground level, proposed earthworks and retaining wall, north point, vehicle crossover, driveway, fencing details, ancillary items, any proposed outbuildings.

3. Floor Plans (scale 1 : 100)

Must indicate key dimensions and window positions.

4. Elevations (scale 1 : 100)

Must include all 4 elevations and indicate building heights, finished floor to ceiling levels, roof pitch, eaves depth, external finishes, existing ground levels and any excavation, fill and proposed finished ground levels & retaining walls. (Alternatively, the latter can be indicated on a cross section at a minimum scale of 1 : 100).

5. External Colour & Material Selection

Including brands, colour names and colour swatches where possible.

Send submissions to:

Hillstowe Design Review Panel

C/Taylors

e: Design.guidelines@taylorsds.com.au

a: 8/270 Ferntree Gully Road, Notting Hill VIC 3168

p: 95012800



Statutory Obligations

It is the responsibility of the purchaser/builder/ Building Surveyor to ensure compliance with any applicable statutory requirements (such as Building Regulations, planning requirements and current Victorian energy rating standards). Approval from the DRP is not an endorsement that plans comply with such requirements.

Allowable Land

No more than one dwelling may be constructed on the lot.

Lots are not permitted to be further subdivided.

Service Connections

Your home must be connected to all available in ground services according to the service provider's standards.

Setbacks

All dwellings, garages and outbuildings must be constructed within the Building Envelope Plan found on the relevant Memorandum of Common Provisions (MCP).

Encroachments into the minimum setback are in accordance with ResCode in the most current Building Regulations.

ResCode

All dwellings must comply with all requirements of ResCode in the most current Building Regulations.

Small Lot Housing Code

Lots less than 300m² in size must comply with the requirements of the Officer Small Lot Housing Code.

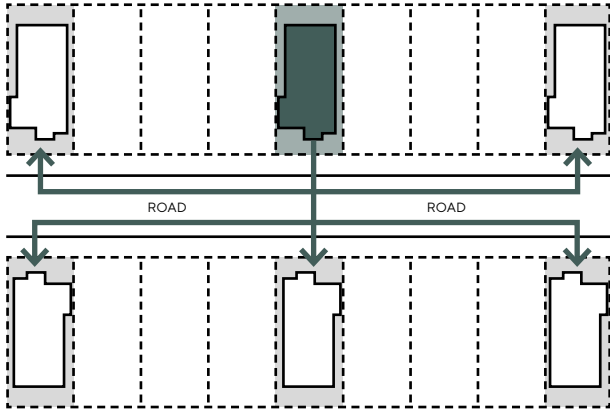
Should a Design Guideline contradict an Officer Small Lot Housing Code requirement, the Officer Small Lot Housing Code will take precedence.



Identical Facades

Two dwellings with the same front façade must not be built within three house lots. This includes lots either side, opposite and encompassing other street frontages where applicable.

Refer to below diagram:



Ceiling Heights

Ceiling heights to the ground floor of double storeys and all single storey homes must be a minimum 2590mm.

Battleaxe Lots

The front of your home must face Timbertop Boulevard with driveway access via the Battleaxe Laneway.

Façade Features

To create interest and give your façade unique character, your façade must be articulated and include the following features:

- Entries must project from the main building line;
- Entries must have a minimum 1.5m depth and a minimum 1.6m width;
- One habitable room window to the facade

External Materials

External walls of your home must be constructed from a combination of materials. A minimum of two materials is required and both materials must equate to a minimum 30% each unless:

- the home is solely finished in a rendered material, then the façade must have a minimum of two colours with both equating to a minimum of 30%.

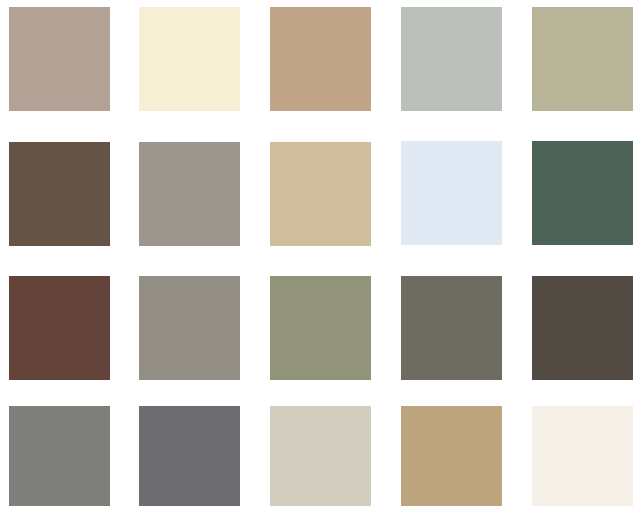
Materials used on the façade must return a minimum 3m to non corner lots.

Lightweight infill is not permitted above windows and doors visible to the public. The material used above windows and doors is required to match the adjoining surface.



External Colours

External colours must be of muted tones that complement the surrounds. Colours should be from the lighter end of the spectrum with darker tones as a contrast to assist with articulation.



Roofing

Skillion, Gable or Pitched roof forms are encouraged to add visual interest to the streetscape. Flat roofs with parapets, and curved will be reviewed on architectural merit.

Where a pitched roof is provided the roof pitch must be a minimum 22°.

A minimum 450mm eaves must be provided to the roof where visible to the public and the entire roof line on double storey's.

Eaves must return a minimum 3m on non-corner lots and must return the entire roof line on secondary frontage lots.

Where there is a parapet wall eaves are not required to that section of roof line.

Roofing materials must be of low-reflectivity.

Corner & Reserve Treatment

Elevations that face a side street or reserve must address the secondary frontage through the use of windows that match the primary façade, articulation including similar feature used on the facade and continuous material.

Where a wall exceeds 10m in length on a secondary frontage, the wall must step in a minimum 300mm for a minimum 1m in length or a contrasting material or colour for a minimum of 2m in length.

At least one habitable room window must be forward of the side boundary fence and where the dwelling is a double storey one habitable room window on each level must be provided.

At least 50% of the rooms to the side street or reserve must have windows facing that boundary.

Blank walls for its entire secondary frontage or reserve are not permitted.

Treatment is required to continue until the return fence on that boundary.

Meterboxes should, where possible be located on the opposite side on the secondary frontage or reserve. In the instant where the meterbox cannot be located on the opposite side it must be colour coordinated to the wall it is attached to.





Vehicle Accommodation

All homes must have a garage which is incorporated into the dwelling roof line.

The garage must be setback a minimum 5m from the frontage and a minimum 840mm behind the main building line.

Lots over 12.5m wide:

For single storey dwellings, garage openings must be no more than 40% of the width of the lot frontage. In the case of a double storey dwelling, a garage opening must not exceed 25% of the area of the front façade of the dwelling.

Lots less than 12.5m wide:

Single storey dwellings are restricted to single garages. In the case of a double storey dwelling, a garage opening must not exceed 25% of the area of the front façade of the dwelling.

The garage door must be sectional or panel lift.

Roller doors are not permitted where visible to the public.

Carports are not permitted.



Driveways

Each lot must have only one driveway unless it's a corner lot in which two crossovers may be permitted with consent from the responsible authority.

The driveway must not exceed 4m in width of the crossover except where they form part of the turning or reversing area required for access to/ from a garage.

Driveways must be finished in Exposed Aggregate, Concrete Pavers or Colour Through Concrete.

Coloured concrete must complement the façade of your home. Plain coloured concrete, painted concrete or gravel driveways are not permitted.

Driveways must be fully constructed prior to the Certificate of occupancy being issued.

A landscaping strip between the driveway and closest side boundary must be provided to a minimum 500mm, except where the crossover is a double crossover, a landscape strip is not required.

Fencing

Front fencing is not permitted.

Side and rear fencing must be constructed of 1.9m high timber palings and finish a minimum 2m behind the main building line.

Corner and reserve fencing must be constructed of 1.9m high timber palings with exposed posts and capping and must not exceed 50% of the length of the lot. the remaining fence must not exceed 1m in height and must be 20% transparent and finish 4m behind the main building line.

Fencing on Battleaxe lots that face Timbertop Boulevard must be constructed of 1.9m high timber palings with exposed posts and capping. Fencing fronting Timbertop Boulevard may not exceed 1m in height.

Gates must be setback a minimum 1m from the boundary and a maximum 4m on the battleaxe laneway.



Outbuilding, Utilities and Facilities

Sheds must not exceed 15m² or have a height to the ridge line of 3.6m and not be visible to the public.

Bin storage areas, drying areas, air conditioning units, caravans, trailers and boats are not to be visible to the public and solar hot water systems, satellite dishes, TV antennae's where placed on the roof should be at the rear and below the ridge line.

When a rain water tank is visible to the public, it must be incorporated well into the design or appropriately screened.



Outbuildings including but not limited to pergolas and verandahs must be approved by the Hillstowe Design Review Panel and be sited within the building envelope plan. Colours and materials must complement the dwelling.

Landscaping and Site Works

Any retaining structures required for your home construction or landscaping visible to the public must not exceed 1.2m in height. Retaining walls visible from the public and must be constructed from suitable materials that complement the dwelling.

Retaining walls constructed by the Developer are not permitted to be altered or removed.

Unpainted timber panels/boards are not permitted unless they are of a high architectural quality such as recycled sleepers.

Unfinished concrete walls/blocks are prohibited.

Side fencing constructed on top of a retaining wall may not exceed a combined height of 2.9m.



Where cutting and filling is greater than 1m, the utilization of planted and landscaped embankments (Maximum 1:3 ratio) must be constructed.

Landscaping to your front yard should consist of local indigenous plants, hard surfaces should be kept to a minimum.

Further details on approved planting species can be found at:

www.cardinia.vic.gov.au/indigenousplantguide

Letterboxes with street numbering must be installed prior to occupation and comply with the Australian Post Standards. A letterbox on a single post will not be permitted.

Roller shutters are not permitted where visible to the public.





hillstowe

Bayview Road, Officer VIC 3809

E: hillstowe@avid.com.au

hillstoweliving.com.au

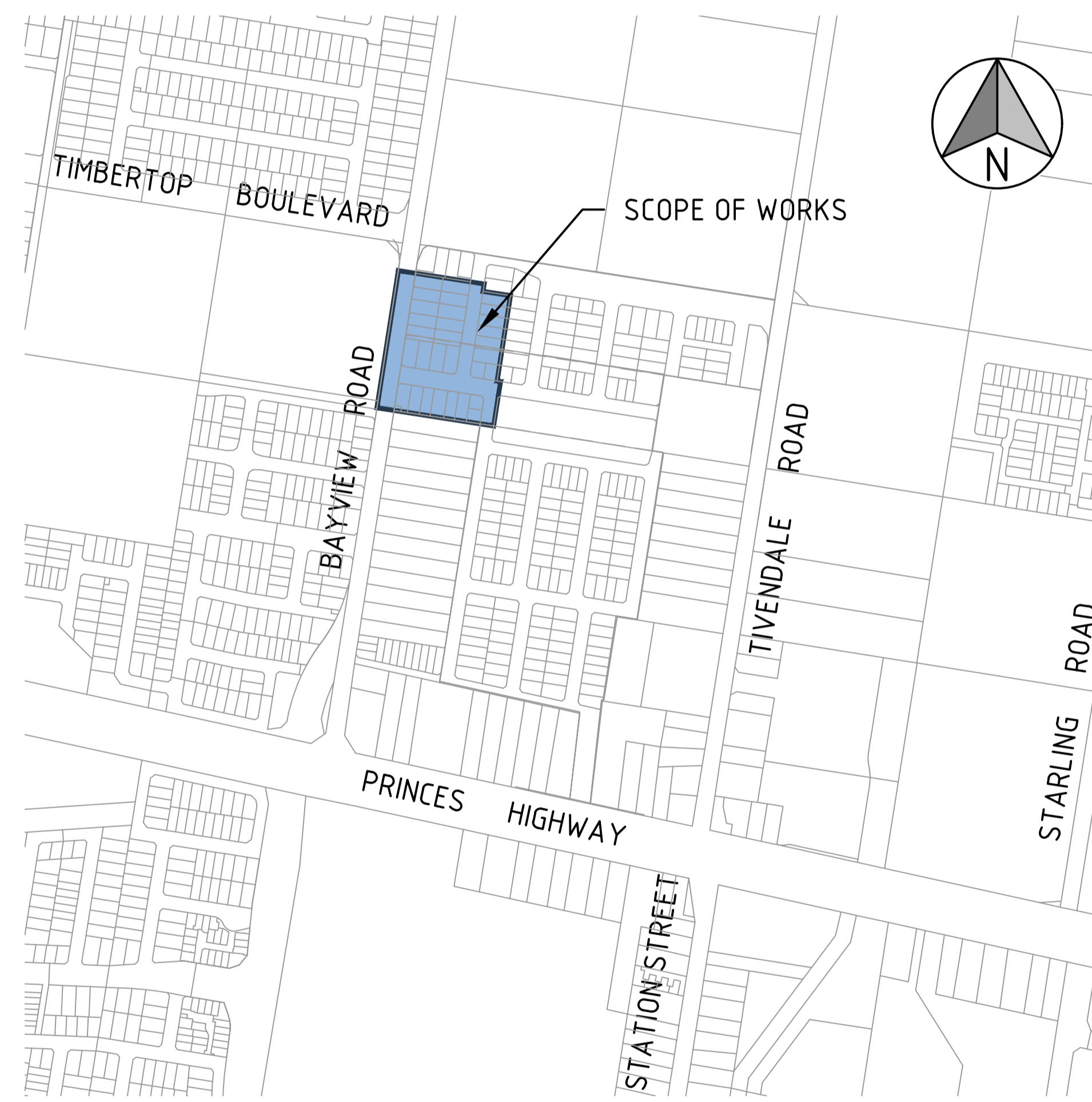
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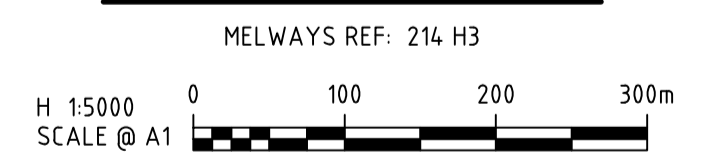
HILLSTOWE ESTATE, OFFICER

STAGE 1

AVID PROPERTY GROUP



LOCALITY PLAN

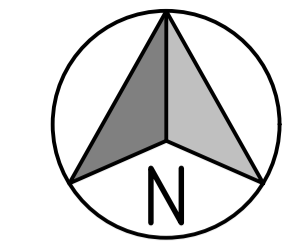


DESCRIPTION	EXISTING	PROPOSED
WATER MAIN - DRINKING WATER	--- DW ---	--- DW ---
WATER MAIN - NON-DRINKING WATER	--- NDW ---	--- NDW ---
UNDERGROUND ELECTRICITY	--- E ---	--- E ---
OVERHEAD ELECTRICITY & POLE	--- OE ---	--- OE ---
TELSTRA & SERVICE PIT	--- T ---	--- T ---
OPTIC FIBRE	--- OF ---	--- OF ---
GAS MAIN	--- G ---	--- G ---
BRANCH SEWER & MANHOLE	--- S ---	--- S ---
SEWER & MANHOLE	--- S ---	--- S ---
CENTRAL INVERT	--- I ---	--- I ---
COUNCIL STORMWATER DRAIN & PIT	--- SD ---	--- SD ---
STORMWATER DRAINAGE PROPERTY INLETS	---	---
COUNCIL STORMWATER PITS	---	---
HOUSE DRAIN	---	---
CONCRETE VEHICLE CROSSING	---	---
SURFACE CONTOUR MINOR	--- -51.20 ---	
SURFACE CONTOUR MAJOR	--- -52.00 ---	
FALL OF DESIGN SURFACE		→
100 YEAR OVERLAND FLOW PATH		→
SIGN AND POST	---	---
LIMIT OF WORKS		○
RETAINING WALL - TIMBER	---	---
RETAINING WALL - CONCRETE	---	---
RETAINING WALL - ROCK/STONE	---	---
FENCE - TREE PROTECTION	--- X ---	--- X ---
FENCE - VEHICLE EXCLUSION	---	---
FENCE - TEMPORARY	---	---
FENCE - OTHER	---	---
TREE TO BE RETAINED	○	
TREE TO BE REMOVED	○	
VEGETATION LINE	---	

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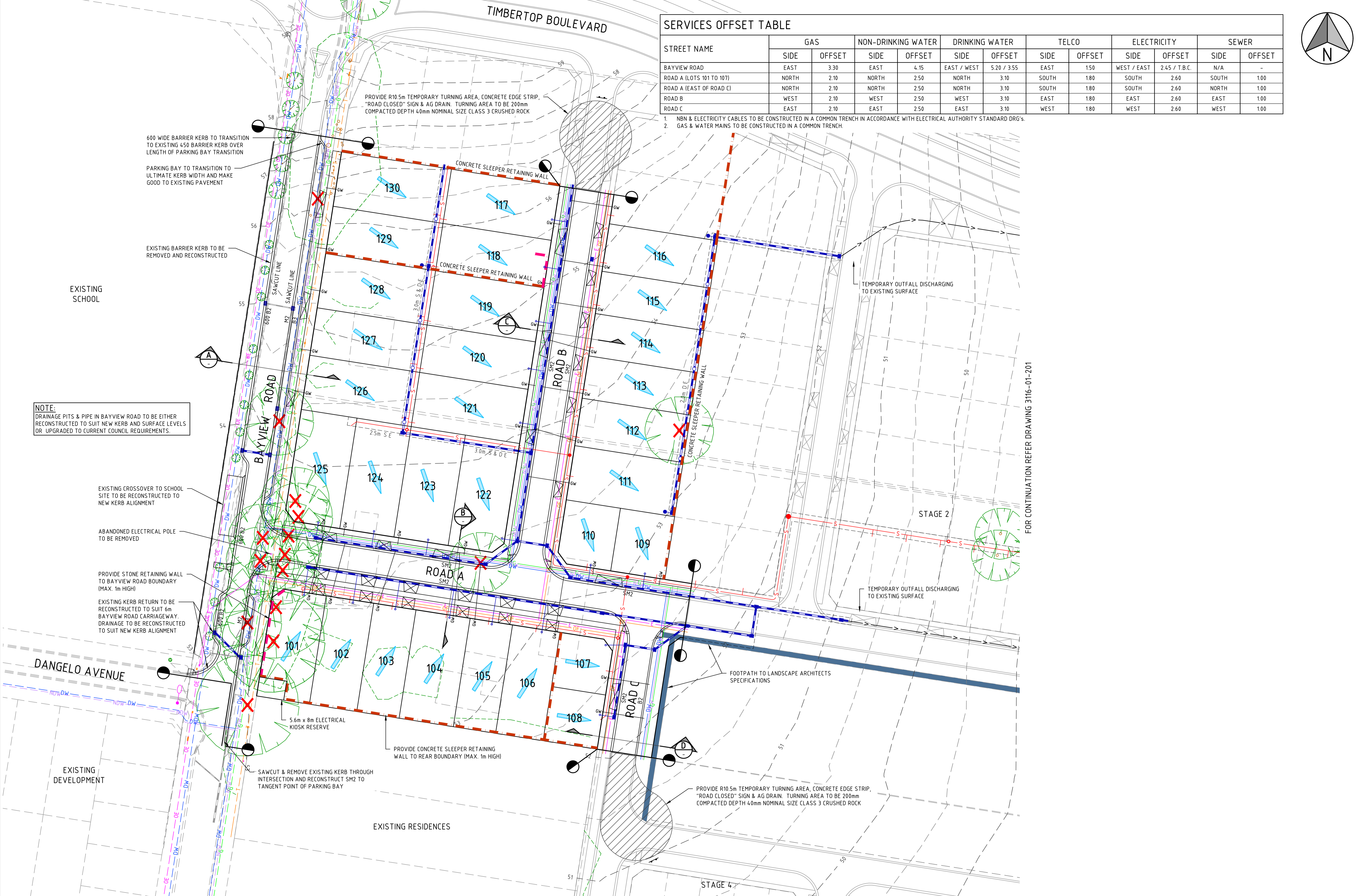
REV	DATE	DRN	CKD	APP	AMENDMENT
C	25.03.19	MIS	KSL	R. TODD	COUNCIL COMMENTS
B	21.02.19	MIS	KSL	R. TODD	ISSUED FOR APPROVAL
A	18.11.18	MIS	KSL	R. TODD	ISSUED FOR APPROVAL

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---	--	---	---	--	--------------------------------



STREET NAME	GAS		NON-DRINKING WATER		DRINKING WATER		TELCO		ELECTRICITY		SEWER	
	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET
BAYVIEW ROAD	EAST	3.30	EAST	4.15	EAST / WEST	5.20 / 3.55	EAST	1.50	WEST / EAST	2.45 / T.B.C.	N/A	-
ROAD A (LOTS 101 TO 107)	NORTH	2.10	NORTH	2.50	NORTH	3.10	SOUTH	1.80	SOUTH	2.60	SOUTH	1.00
ROAD A (EAST OF ROAD C)	NORTH	2.10	NORTH	2.50	NORTH	3.10	SOUTH	1.80	SOUTH	2.60	NORTH	1.00
ROAD B	WEST	2.10	WEST	2.50	WEST	3.10	EAST	1.80	EAST	2.60	EAST	1.00
ROAD C	EAST	2.10	EAST	2.50	EAST	3.10	WEST	1.80	WEST	2.60	WEST	1.00

- NBN & ELECTRICITY CABLES TO BE CONSTRUCTED IN A COMMON TRENCH IN ACCORDANCE WITH ELECTRICAL AUTHORITY STANDARD DRG'S.
- GAS & WATER MAINS TO BE CONSTRUCTED IN A COMMON TRENCH.

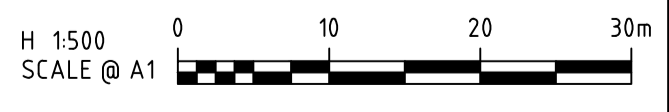


NOTE:
DRAINAGE PITS & PIPE IN BAYVIEW ROAD TO BE EITHER RECONSTRUCTED TO SUIT NEW KERB AND SURFACE LEVELS OR UPGRADED TO CURRENT COUNCIL REQUIREMENTS.

FOR CONTINUATION REFER DRAWING 3116-01-201

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REV	DATE	DRN	CKD	APP	AMENDMENT
C	25.03.19	MIS	KSL	R. TODD	COUNCIL COMMENTS
B	21.02.19	MIS	KSL	R. TODD	BAYVIEW ROAD KERB (WESTERN SIDE) CHANGED FROM 450 B2 TO 600 B2
A	18.11.18	MIS	KSL	R. TODD	ISSUED FOR APPROVAL



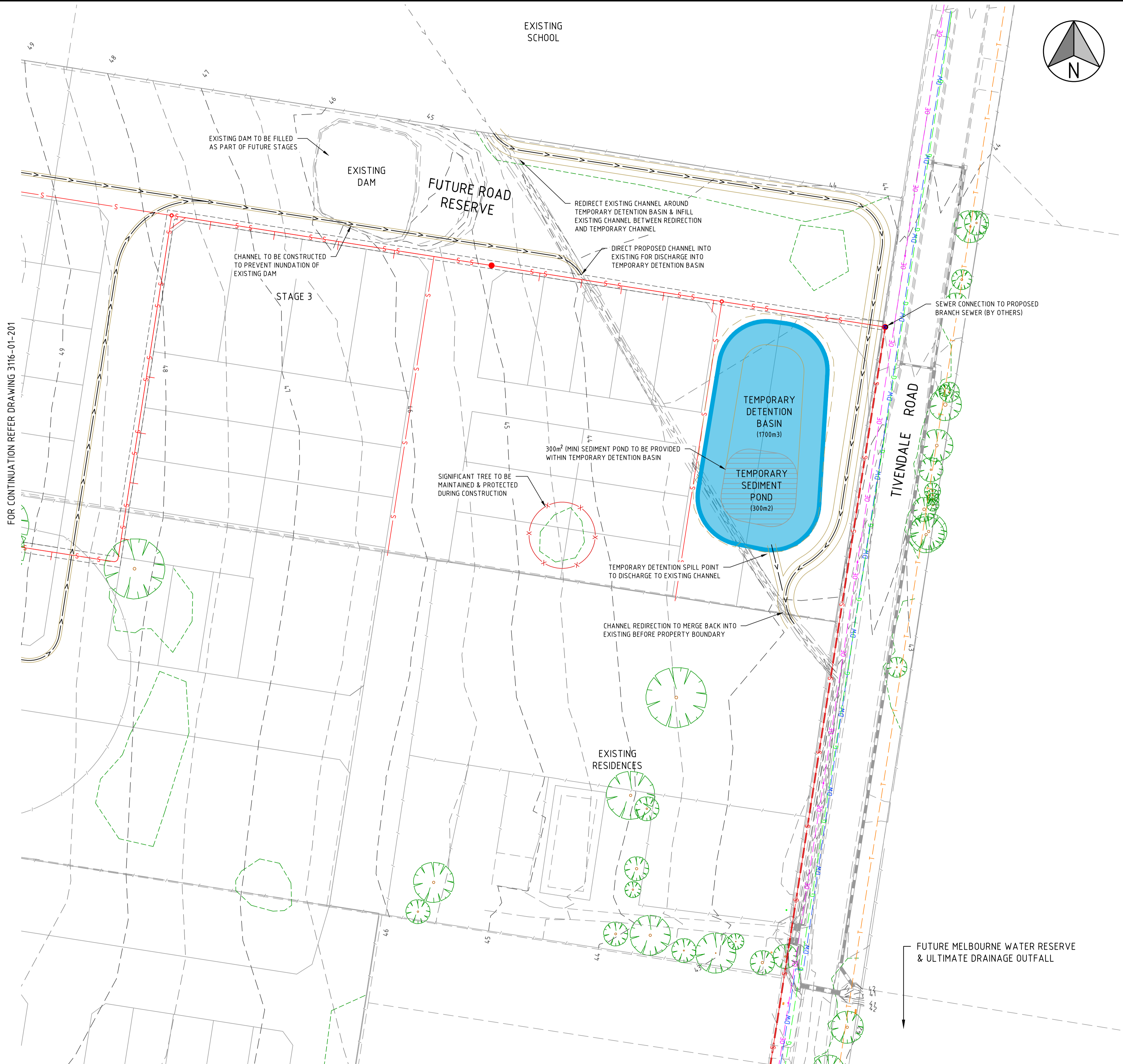
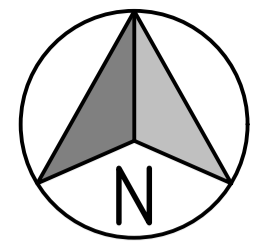
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CLIENT: HILLSTOWE ESTATE, OFFICER
DESIGNED: X.X.X
SCALE: AS SHOWN
APPROVED: *R. Todd*

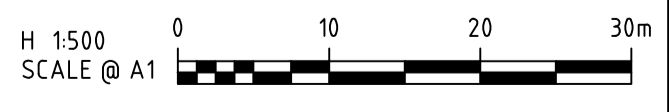
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TITLE	FUNCTIONAL DETAIL PLAN - SHEET 1
MUNICIPALITY	CARDINIA SHIRE COUNCIL
PP No.	T130581
DRAWING No.	3116-01-200
REVISION	C

ORIGINAL SIZE A1



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REV	DATE	DRN	CKD	APP	AMENDMENT
C	25.03.19	MIS	KSL	R. TODD	COUNCIL COMMENTS
B	21.02.19	MIS	KSL	R. TODD	SEDIMENT POND MOVED TO WITHIN TEMPORARY DETENTION BASIN
A	18.11.18	MIS	KSL	R. TODD	ISSUED FOR APPROVAL



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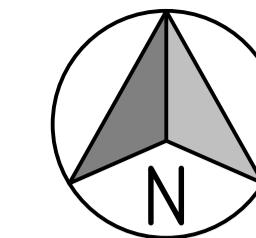
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Street Address: Suite 2.04, 390 St Kilda Road, Melbourne VIC 3004, E melbourne@cosweb.com.au

AVID Property Group
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SCALE: AS SHOWN
APPROVED: *R. Todd*

PROJECT	HILLSTOWE ESTATE, OFFICER
TITLE	FUNCTIONAL DETAIL PLAN - SHEET 2
MUNICIPALITY	CARDINIA SHIRE COUNCIL
PP No.	T130581
DRAWING No.	3116-01-201
REVISION	C

ORIGINAL SIZE A1

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TIMBERTOP BOULEVARD

EXISTING SCHOOL

DANGELO AVENUE

EXISTING DEVELOPMENT

EXISTING RESIDENCES

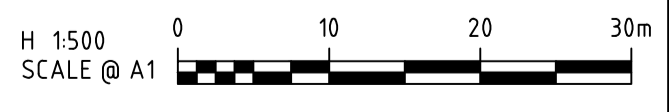
STAGE 2

STAGE 3



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A	21.02.19	MS	MS	RT	ISSUED FOR APPROVAL
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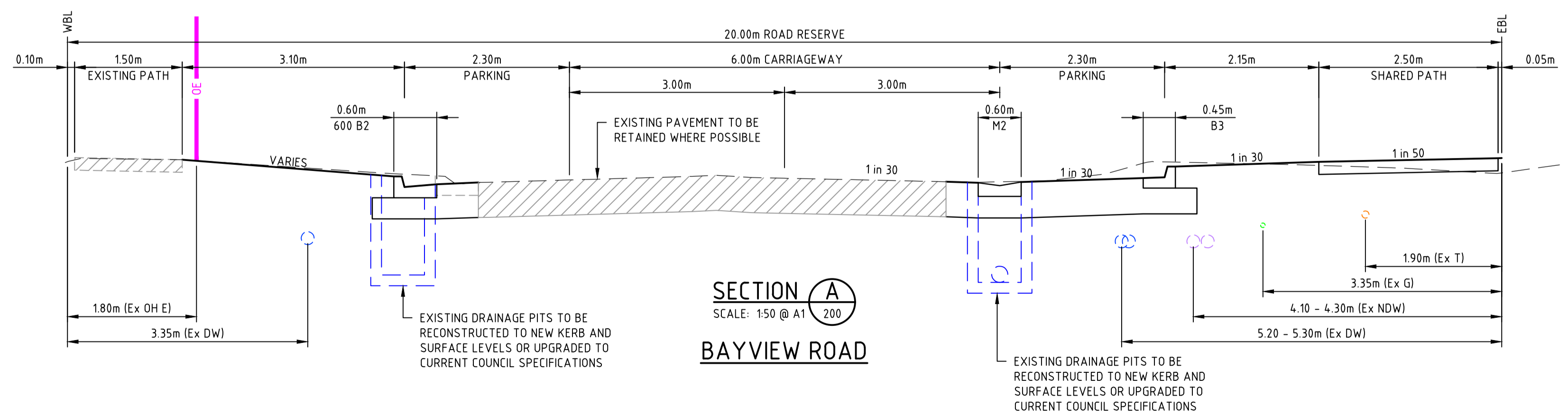
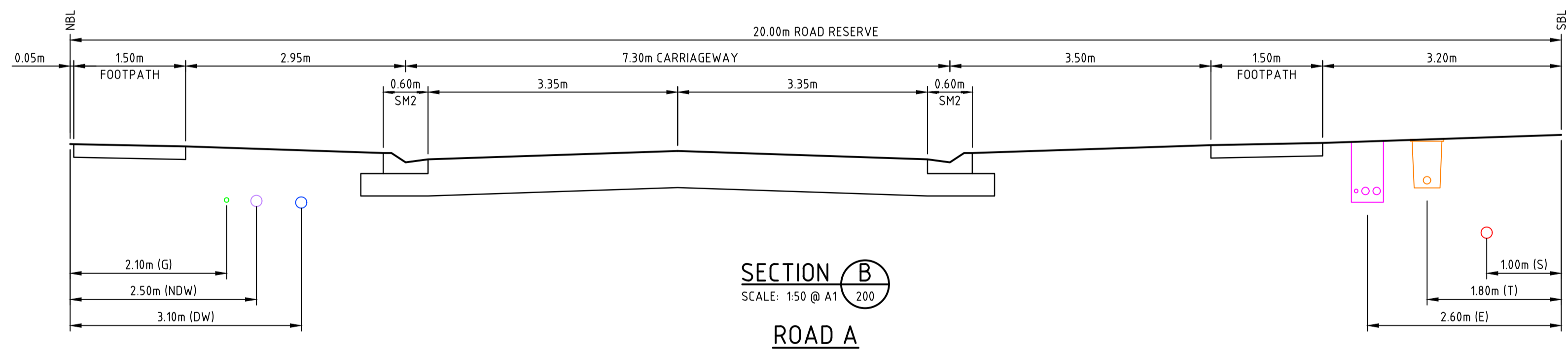
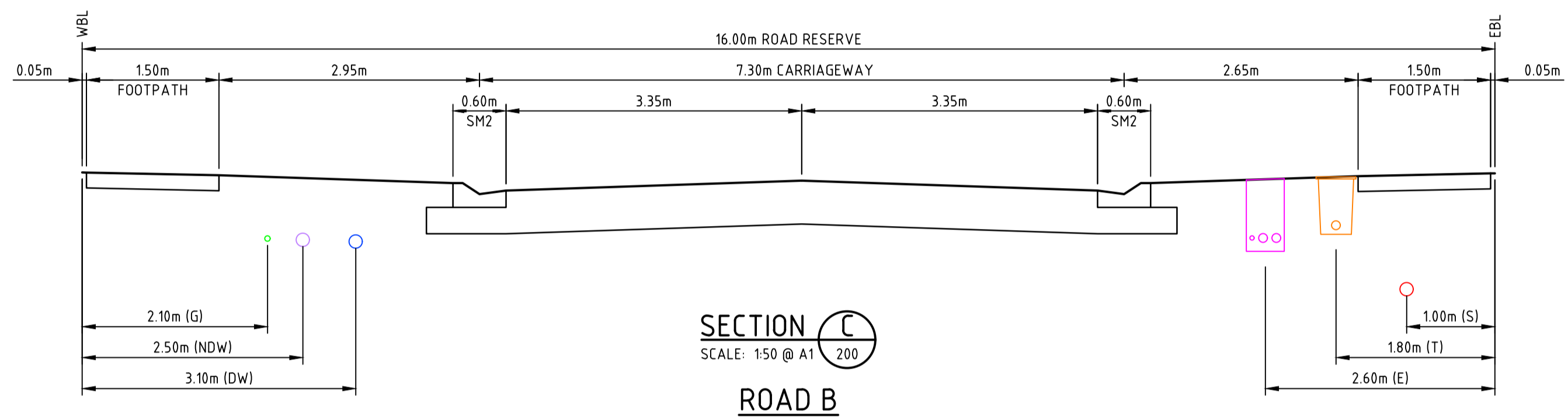
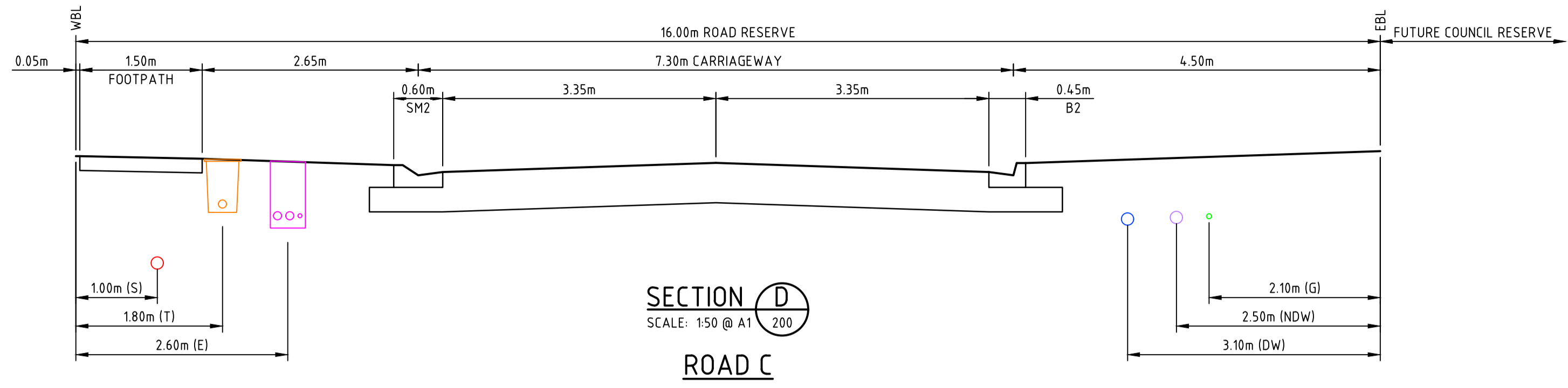
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E melbourne@cosweb.com.au

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DESIGNED	MS	
APPROVED	R.TODD	
SCALE	AS SHOWN	

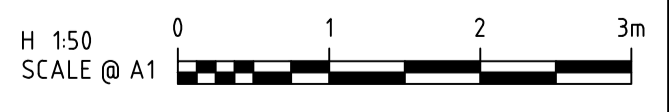
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TITLE	FUNCTIONAL PARKING LAYOUT		
MUNICIPALITY	CARDINIA SHIRE COUNCIL		
PP No.	T130581	DRAWING No.	3116-01-202
REVISION	A		

ORIGINAL SIZE
A1



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C	25.03.19	MIS	KSL	R. TODD	COUNCIL COMMENTS
B	21.02.19	MIS	KSL	R. TODD	BAYVIEW ROAD KERB (WESTERN SIDE) CHANGED FROM 450 B2 TO 600 B2
A	18.11.18	MIS	KSL	R. TODD	ISSUED FOR APPROVAL



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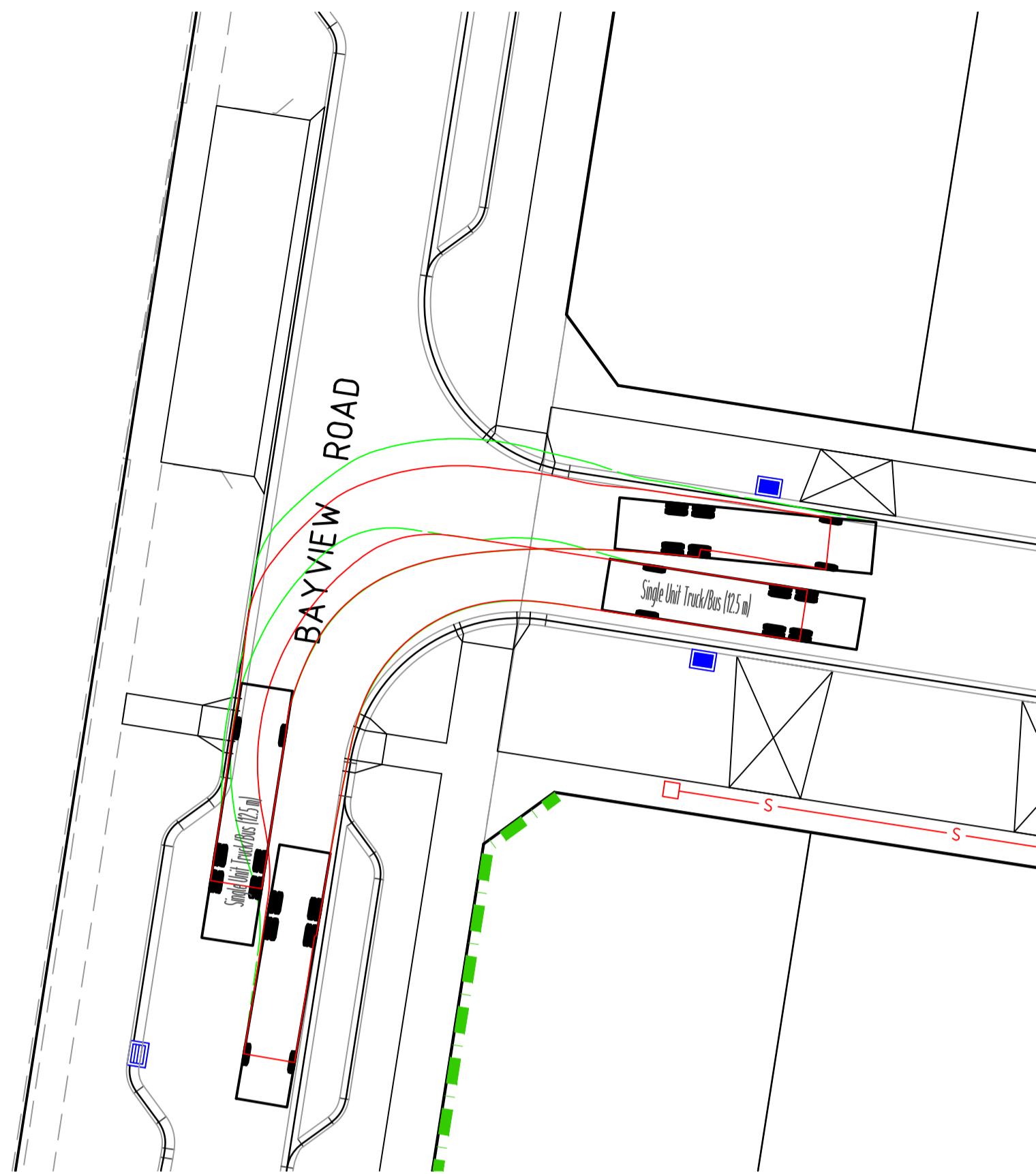
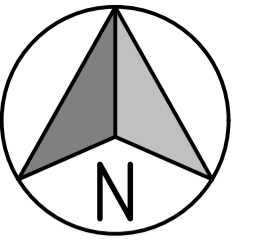
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DESIGNED X.X.X
SCALE AS SHOWN

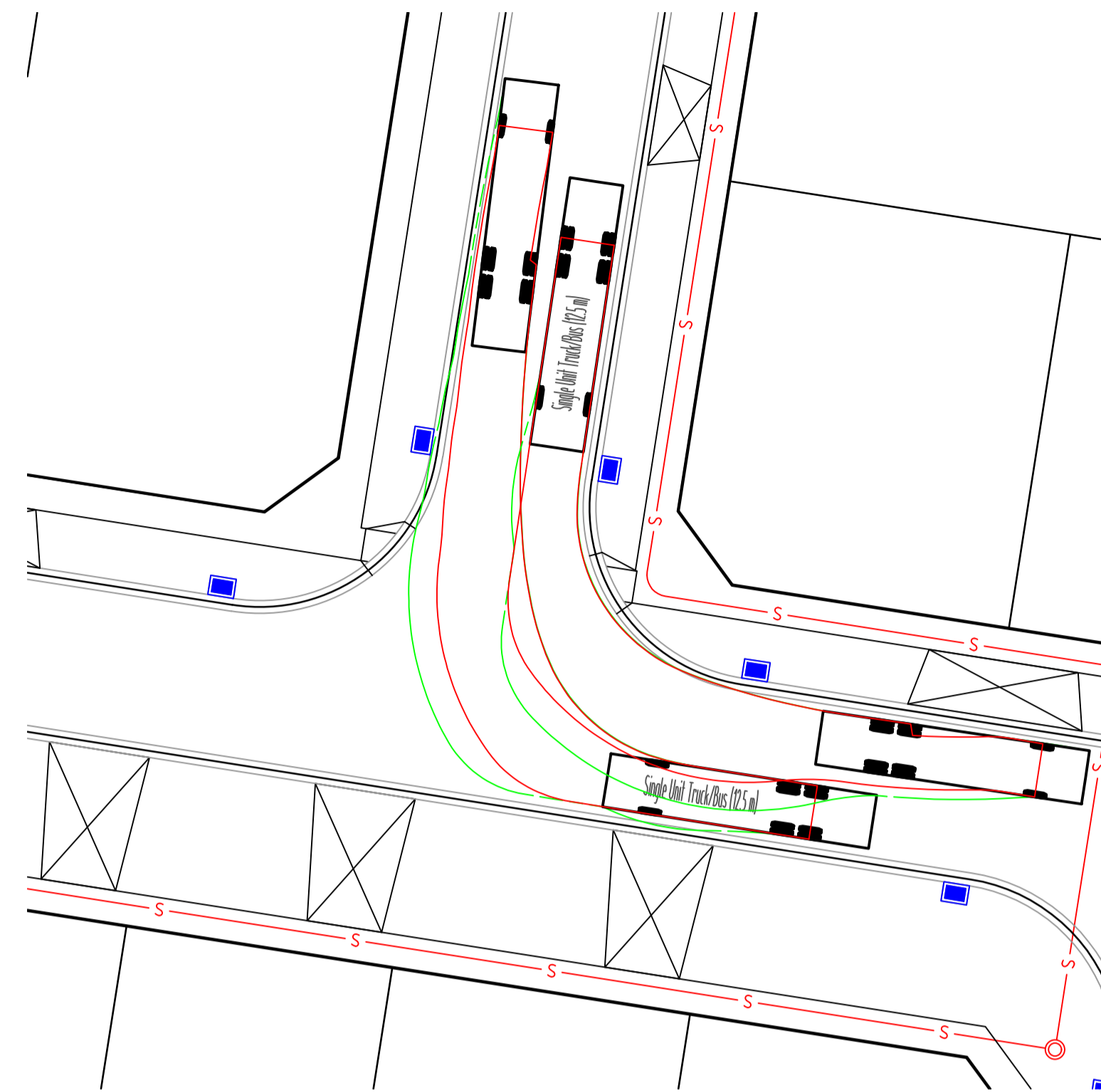
APPROVED
R. Todd

PROJECT	HILLSTOWE ESTATE, OFFICER
TITLE	FUNCTIONAL TYPICAL CROSS SECTIONS
MUNICIPALITY	CARDINIA SHIRE COUNCIL
PP No.	T130581
DRAWING No.	3116-01-220
REVISION	C

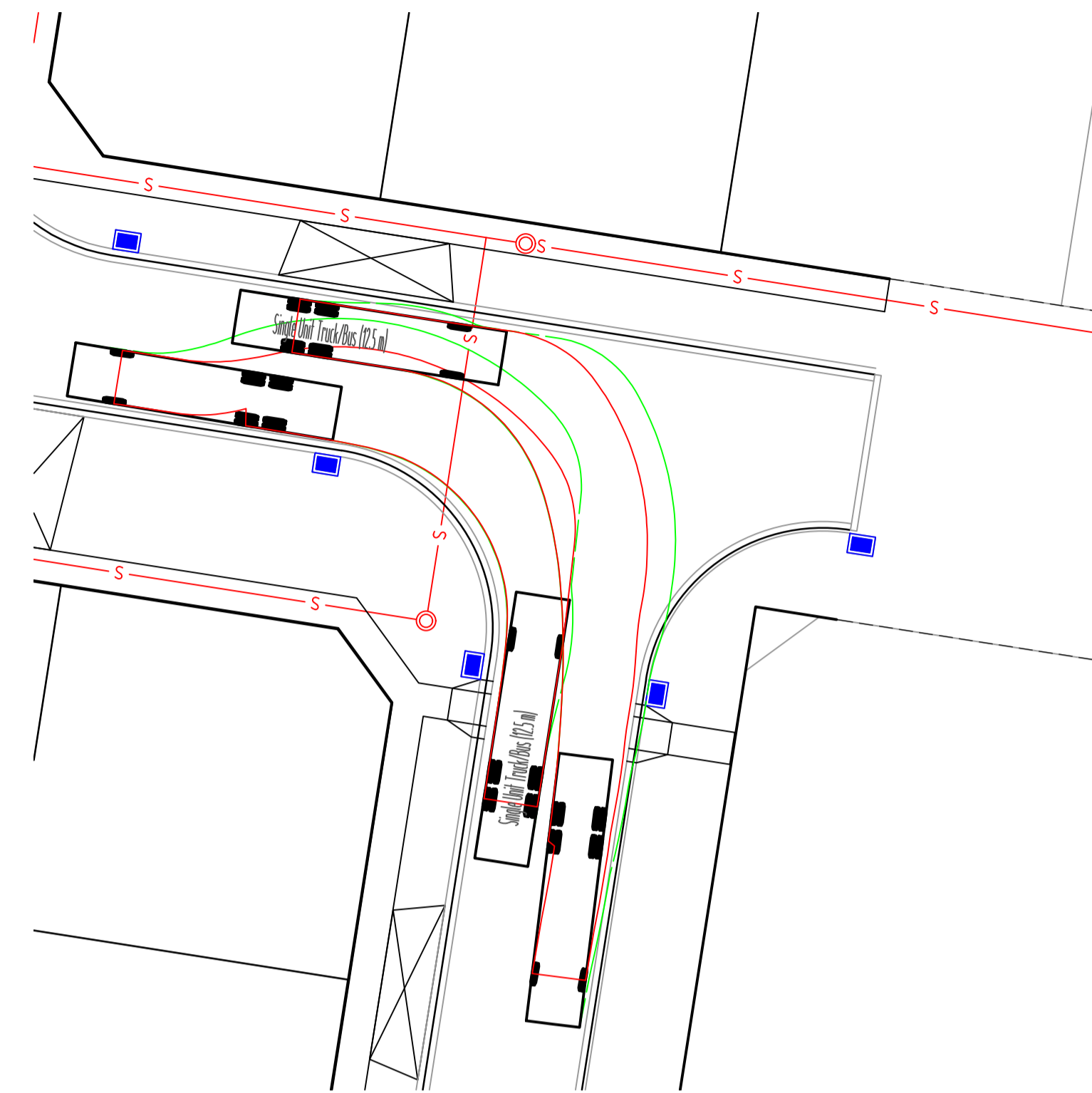
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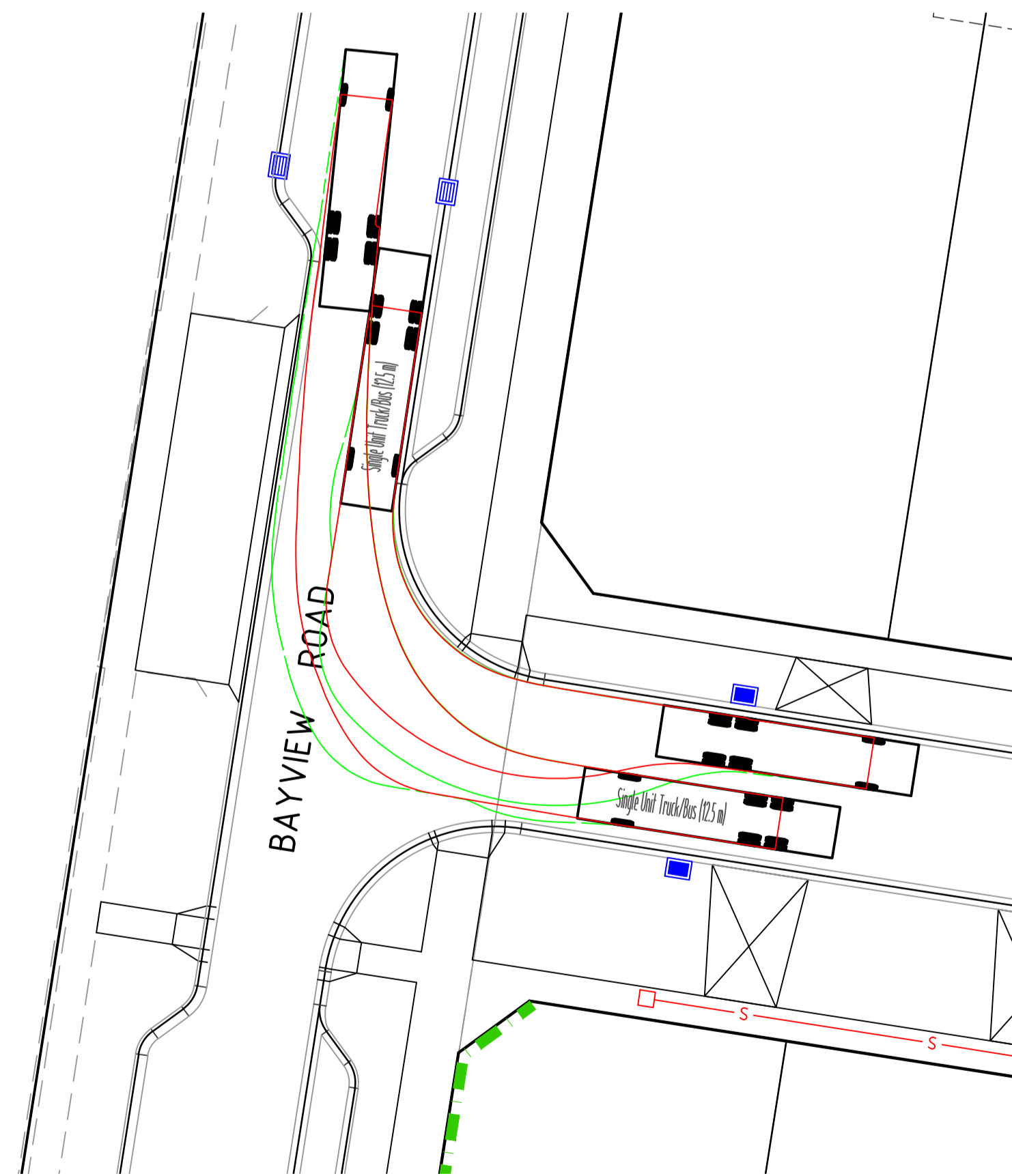
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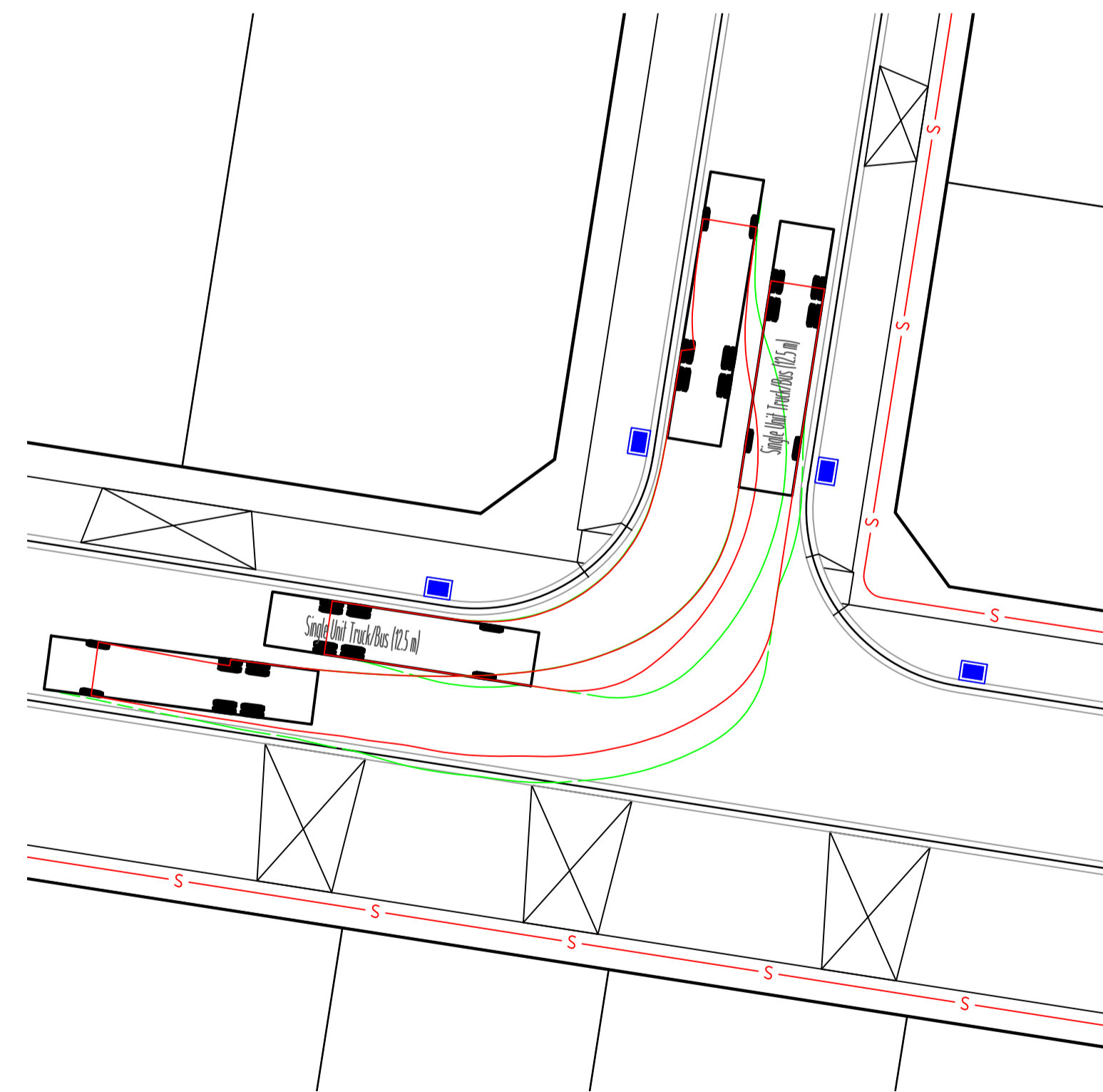
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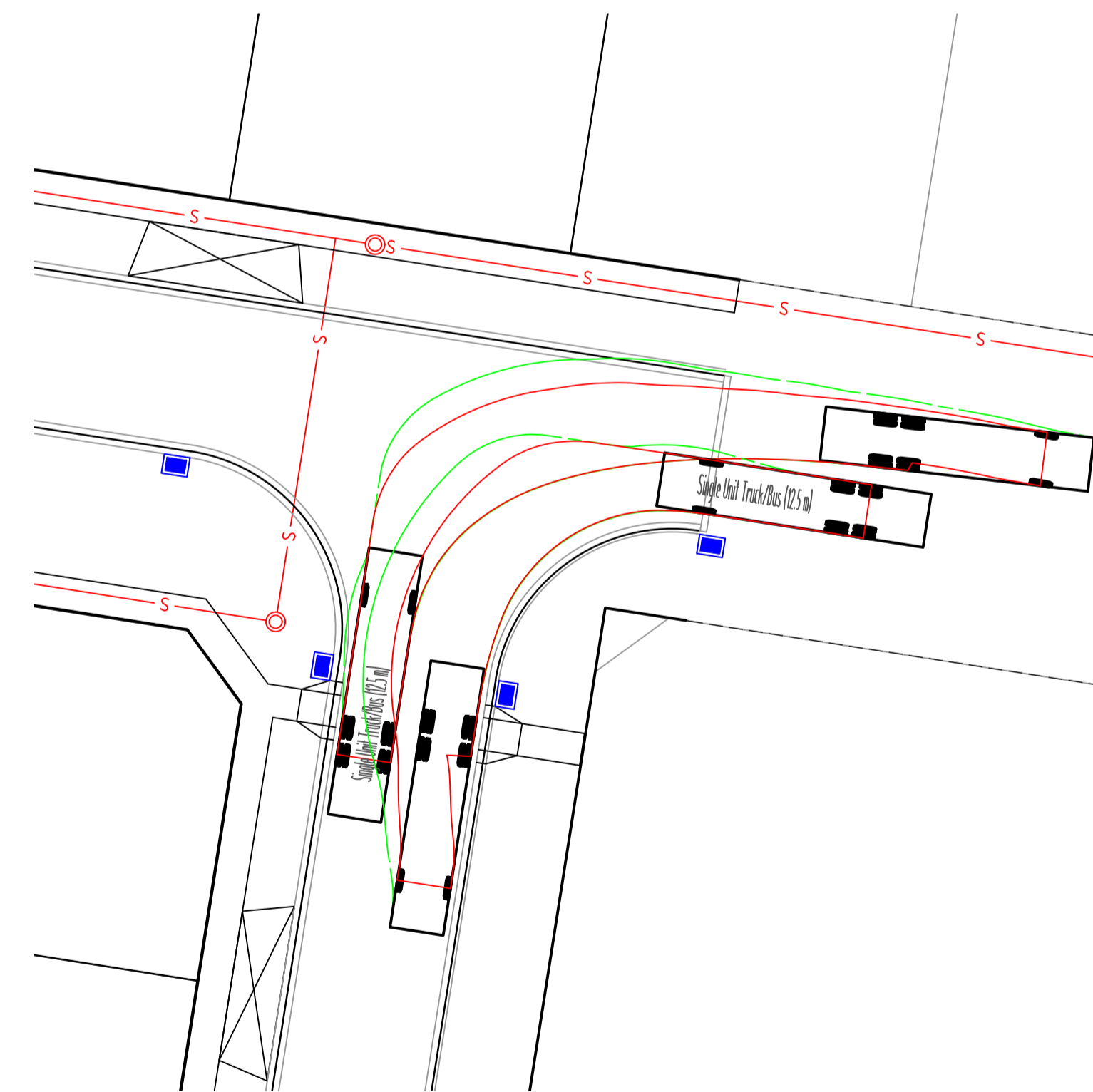
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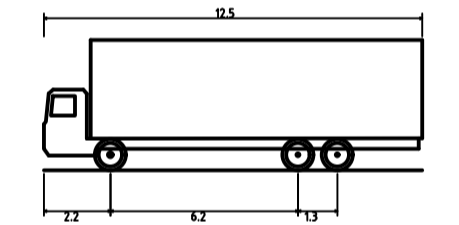
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INTERSECTION OF ROAD A AND ROAD B



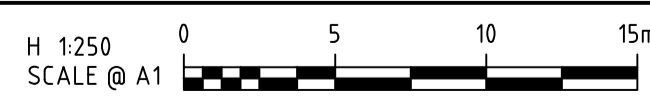
INTERSECTION OF ROAD A AND ROAD C



Single Unit Truck/Bus (12.5 m)
 Overall Length 12.500m
 Overall Width 2.500m
 Overall Body Height 4.300m
 Min Body Ground Clearance 0.495m
 Track Width 2.500m
 Lock-to-lock time 6.90s
 Curb to Curb Turning Radius 12.500m

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A	21.02.19	MS	Str	RT	ISSUED FOR APPROVAL



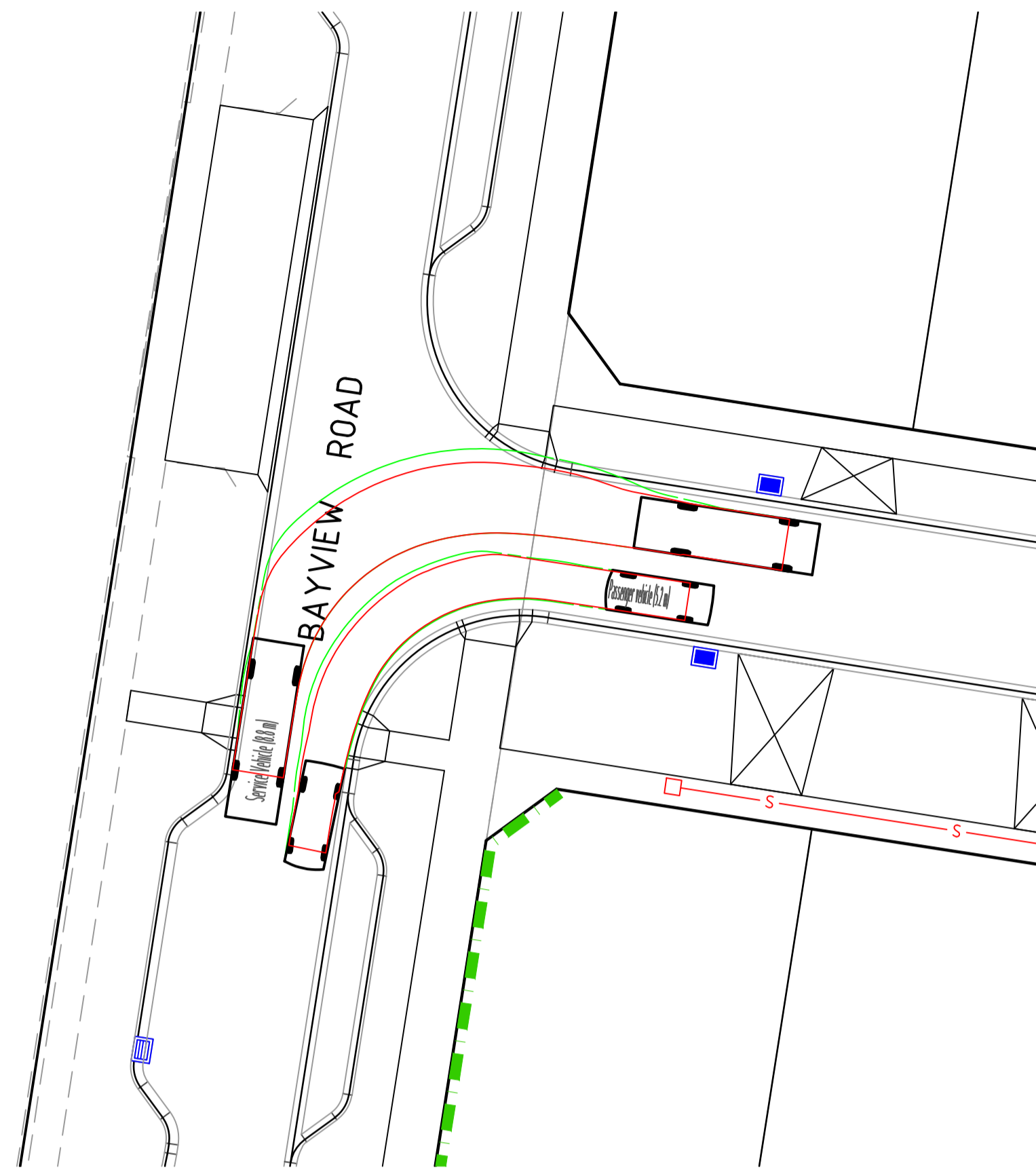
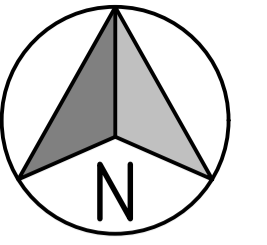
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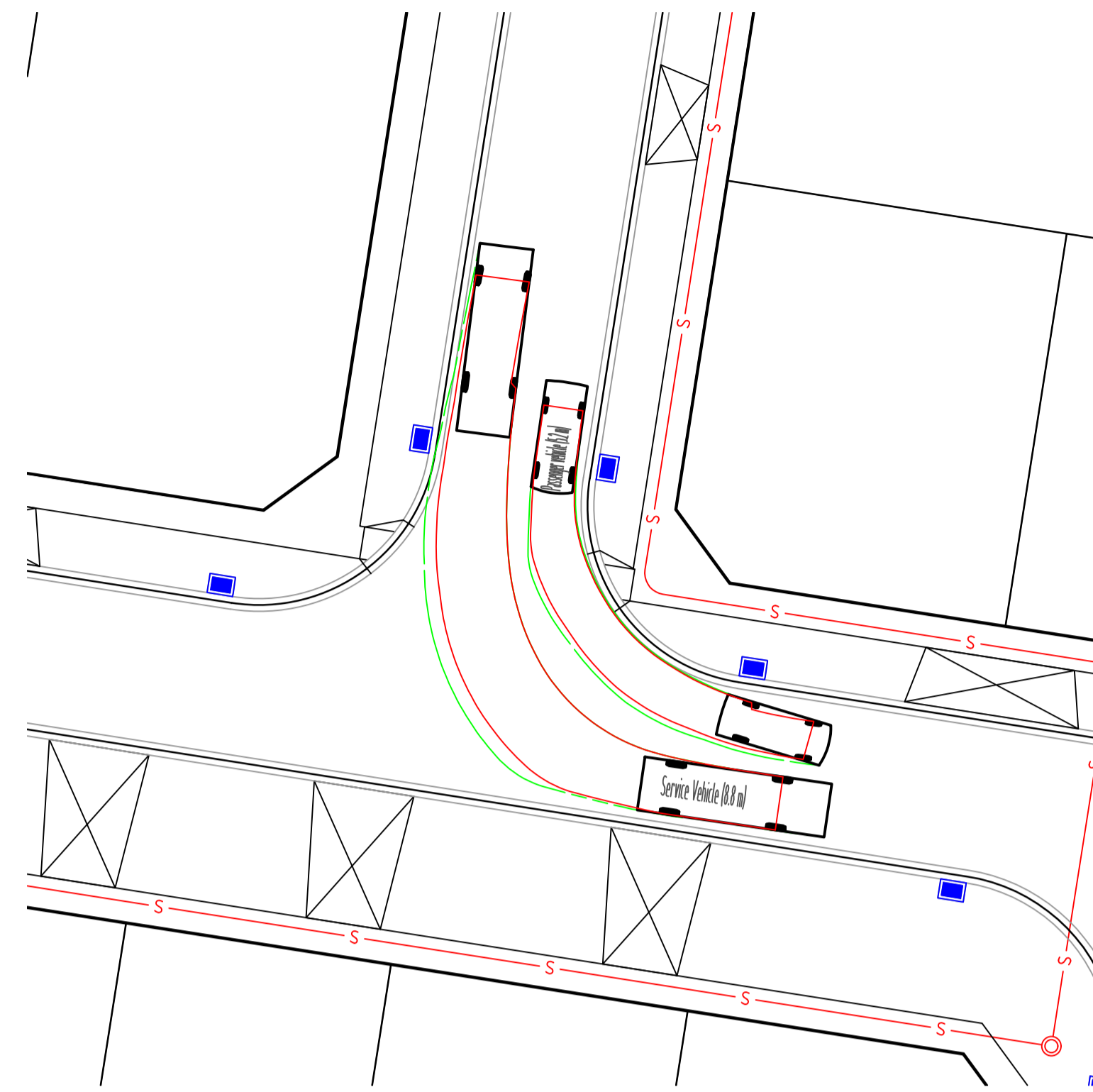
CLIENT
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APPROVED
 R.TODD
DESIGNED
 MS
SCALE
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PROJECT
 TURNERS HILL ESTATE, OFFICER
TITLE
 FUNCTIONAL VEHICLE SWEEP PATHS - SHEET 1
MUNICIPALITY
 CARDINIA SHIRE COUNCIL
PP No.
 T130581
DRAWING No.
 3116-01-230
REVISION
 A

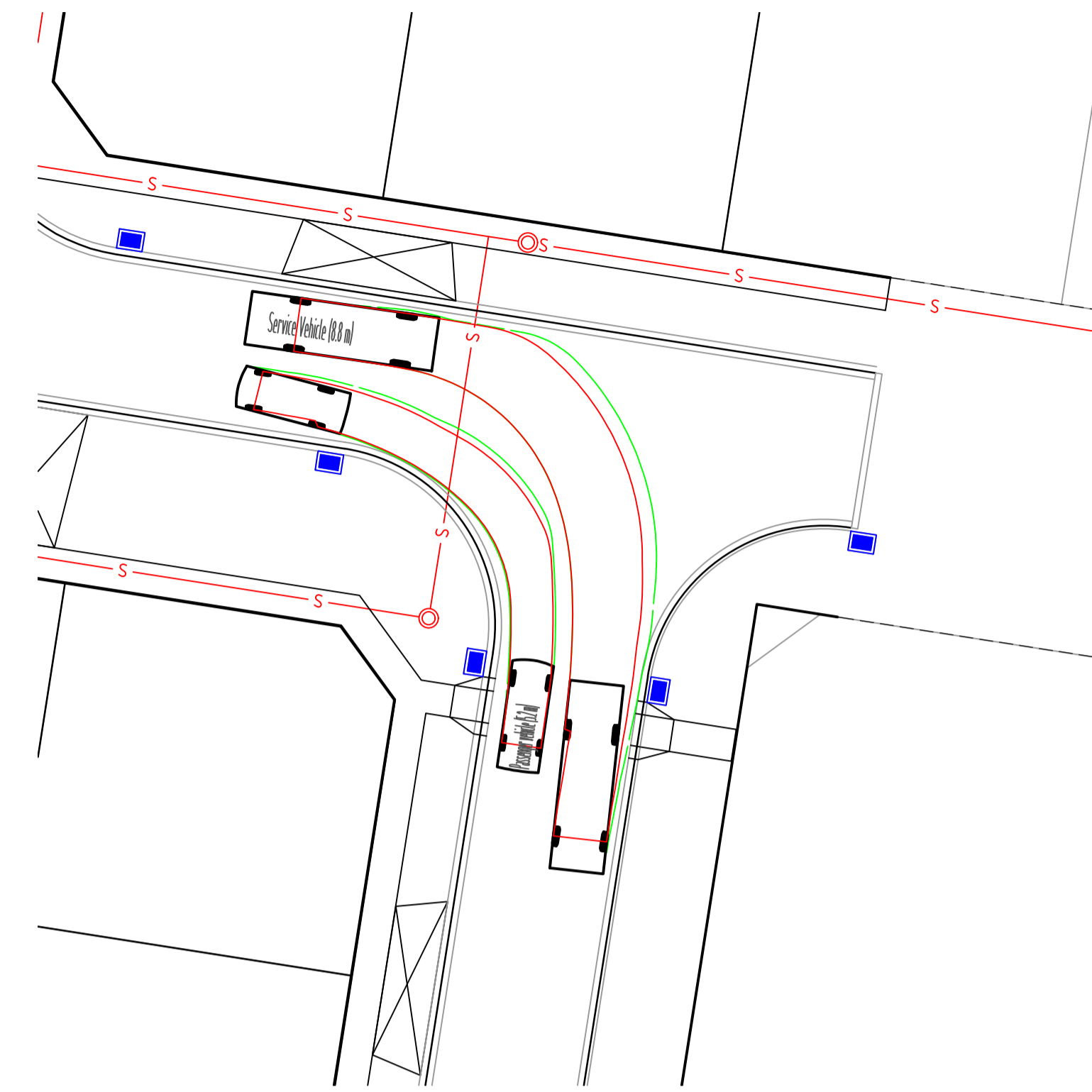
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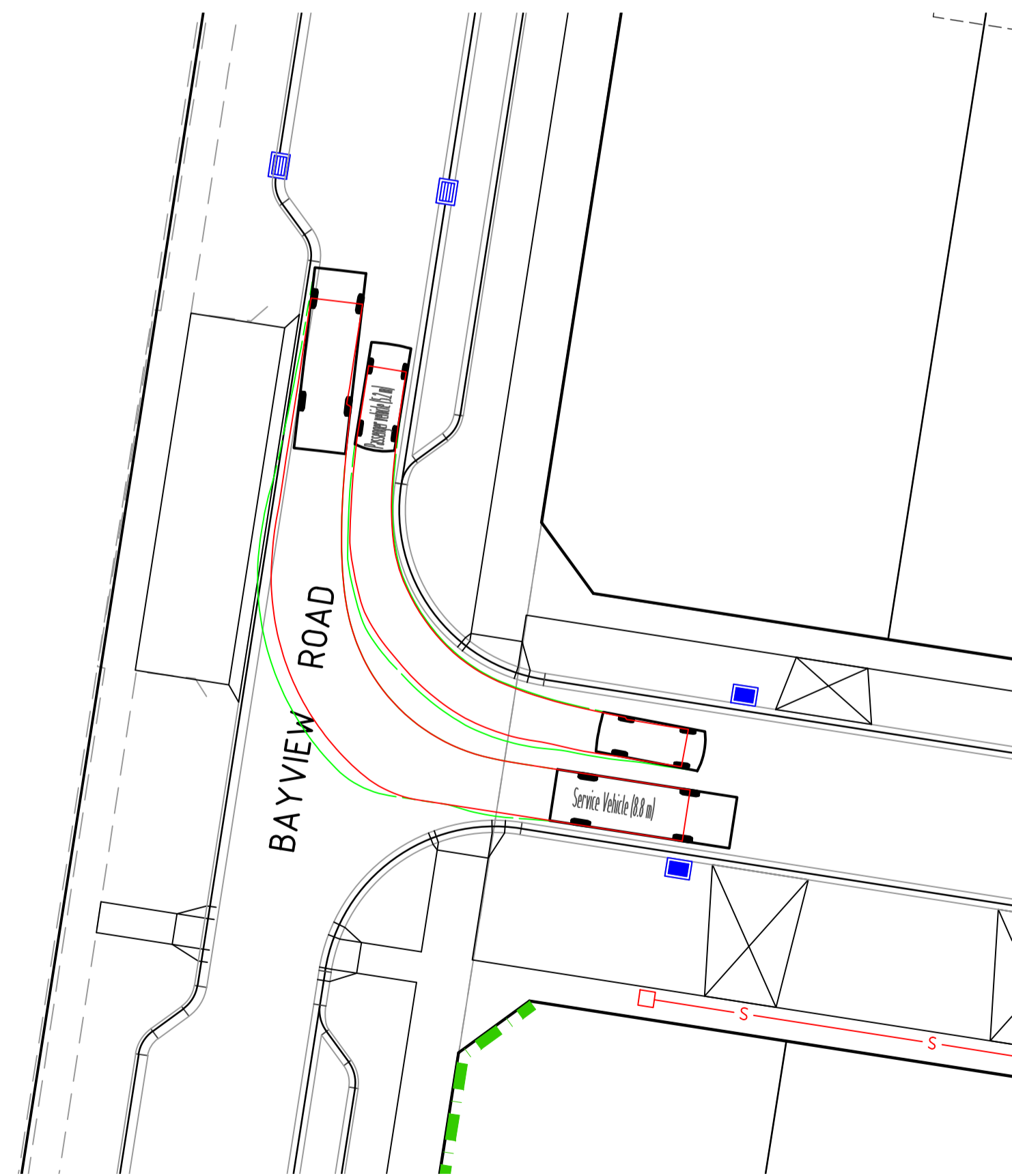
INTERSECTION OF BAYVIEW ROAD AND ROAD A



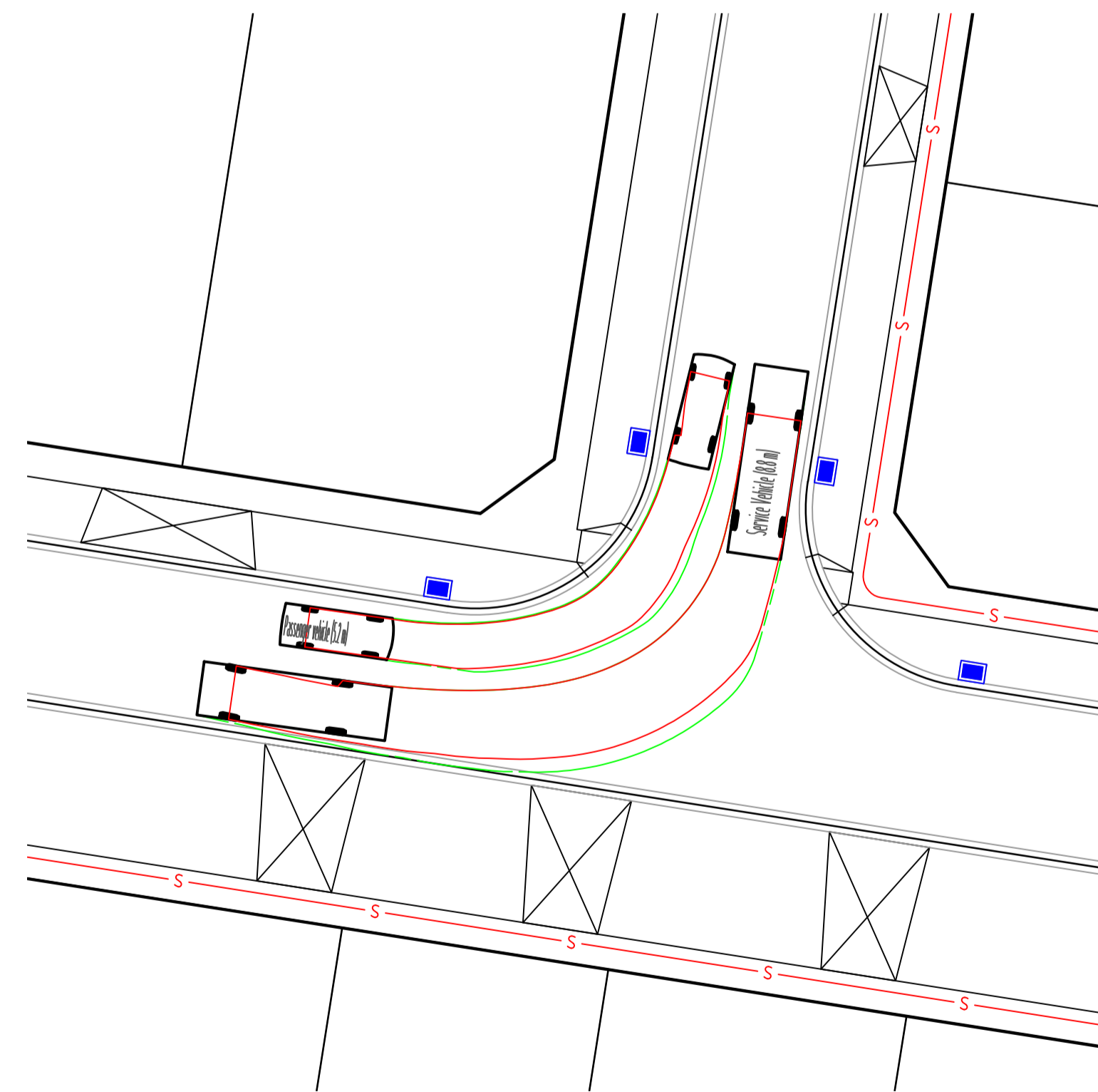
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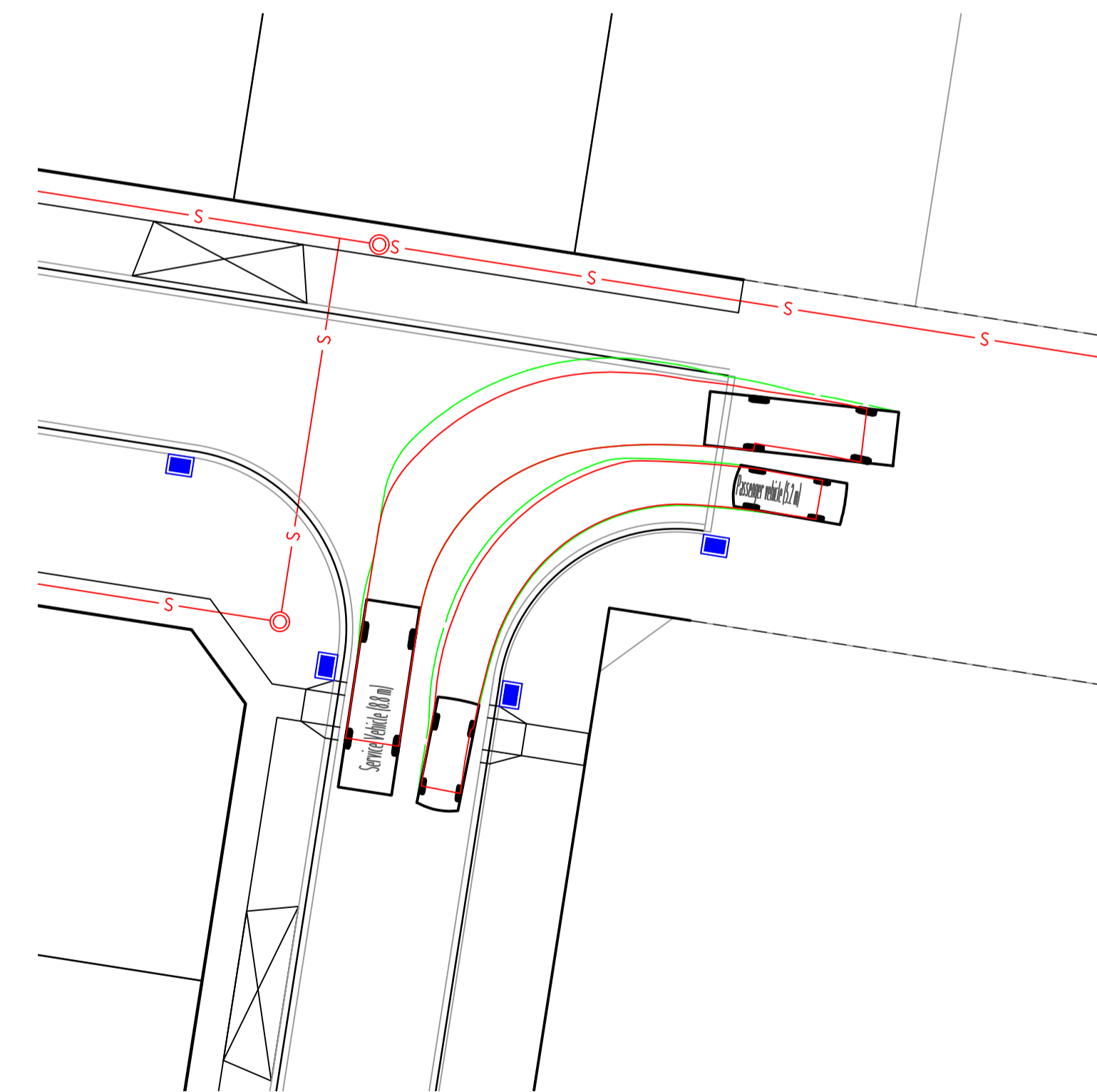
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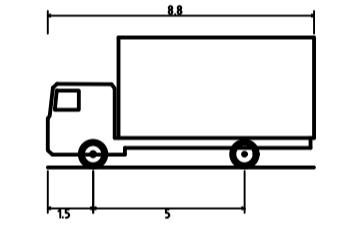
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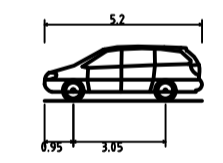
INTERSECTION OF ROAD A AND ROAD B



INTERSECTION OF ROAD A AND ROAD C



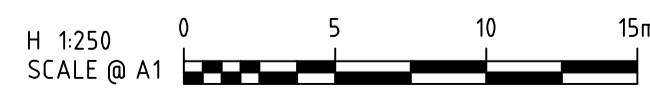
Service Vehicle (8.8 m)
 Overall Length 8.800m
 Overall Width 2.500m
 Overall Body Height 4.300m
 Min Body Ground Clearance 0.427m
 Track Width 2.500m
 Lock-to-lock time 4.90s
 Curb to Curb Turning Radius 12.500m



Passenger vehicle (5.2 m)
 Overall Length 5.200m
 Overall Width 1.940m
 Overall Body Height 1.800m
 Min Body Ground Clearance 0.295m
 Track Width 1.840m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 6.300m

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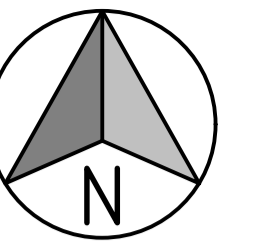
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CLIENT: **AVID** Property Group
 APPROVED: R.TODD
 DESIGNED: MS
 SCALE: AS SHOWN

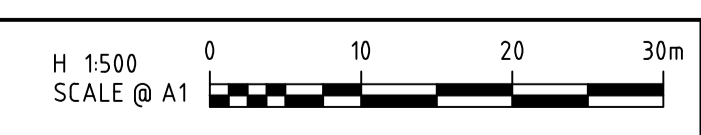
PROJECT	TURNERS HILL ESTATE, OFFICER		
TITLE	FUNCTIONAL VEHICLE SWEEP PATHS - SHEET 2		
MUNICIPALITY	CARDINIA SHIRE COUNCIL		
PP No.	T130581	DRAWING No.	3116-01-231
REVISION	A	ORIGINAL SIZE	A1

DESCRIPTION	EXISTING	PROPOSED
SEWERAGE RETICULATION & MANHOLE		
CENTRAL INVERT		
COUNCIL STORMWATER DRAIN & PIT		
STORMWATER DRAINAGE PROPERTY INLETS		
COUNCIL STORMWATER PITS		
HOUSE DRAIN		
SURFACE LEVEL	E43.21	F44.33
BATTER LEVEL (TOP / TOE)	T43.55	T43.55
CUT GREATER THAN 200mm		
FILLING GREATER THAN 200mm		
RETAINING WALL - CONCRETE		
RETAINING WALL - ROCK/STONE		



Z:\Projects\3116_Turners Hill_Civil\3116-01-903.dwg, 5:17 PM, MichaelS, DWG To PDF.pc3, 11 - CIV Reference

A	27.05.19	MIS	<i>M. Loda</i>	ISSUED FOR APPROVAL
REV	DATE	DRN	CKD	APP
				AMENDMENT



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This plan is not to be used for construction unless issued as revision 0 or higher.

Cossill & Webley
CONSULTING ENGINEERS

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Street Address: Suite 2.04, 390 St Kilda Road, Melbourne VIC 3004
T (03) 8548 1560 E melbourne@cosweb.com.au

AVID
Property Group

DESIGNED: M. SHIRLEY
SCALE: AS SHOWN

APPROVED: *M. Loda*

PROJECT	HILLSTOWE ESTATE
TITLE	GENERAL SALES PLAN
MUNICIPALITY	CARDINIA SHIRE COUNCIL
PP No.	T130581
DRAWING No.	3116-01-903
REVISION	A

ORIGINAL SIZE A1

PO BOX 3000, Penrith NSW 2740

AVID PROPERTY GROUP NOMINEES PTY LTD
ATF OFFICER PROPERTY UNIT TRUST
Attn: RUNA BAJRACHARYA
LEVEL 35 259 GEORGE STREET
SYDNEY NSW 2000



Australian Government
Australian Taxation Office

Our reference: 1051411108383
Phone: 13 28 69

3 AUGUST 2018

Your foreign resident capital gains withholding clearance certificate

- › Purchasers are not required to withhold and pay an amount
- › Provide a copy to the purchaser and retain a copy for your records

Dear Sir/Madam,

We have decided that purchasers are not required to withhold and pay an amount. Your vendor certificate is below.

Reference number	2410160771793
Vendor name	AVID PROPERTY GROUP NOMINEES PTY LTD ATF OFFICER PROPERTY UNIT TRUST
Vendor address	LEVEL 35 259 GEORGE STREET SYDNEY NSW 2000
Clearance certificate period	3 AUGUST 2018 to 3 AUGUST 2019

The Commissioner may withdraw this clearance certificate at any time if we obtain further information indicating the vendor is a foreign resident.

Yours sincerely

Will Day
Deputy Commissioner of Taxation

NEED HELP?

You can find out more about foreign resident capital gains withholding on our website at ato.gov.au/FRCGW

CONTACT US

If you have any questions, contact us between 8:00am and 5:00pm Australian Eastern Standard Time, Monday to Friday on:

- › **13 28 69** if located in Australia, or
- › **+61 2 6216 1111** if located outside Australia